



THE CORPORATION OF THE CITY OF BRAMPTON

# BY-LAW

*Number* 17-2001

To amend By-law 56-83, as amended

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The Council of the Corporation of the City of Brampton ENACTS as follow:

1. By-law 56-83, as amended, is hereby further amended:
  - (1) by changing, on Sheet 16 of Schedule A thereto, the zoning designation of the lands shown outlined on Schedule A to this by-law from AGRICULTURAL (A) and FLOODPLAIN (F) to RESIDENTIAL TWO A- SECTION 720 (R2A-SECTION 720), RESIDENTIAL SINGLE FAMILY C- SECTION 721 (R1C-SECTION 721), RESIDENTIAL SINGLE FAMILY D- SECTION 722 (R1D-SECTION 722), RESIDENTIAL STREET TOWNHOUSE B- SECTION 723 (R3B-SECTION 723), and FLOODPLAIN (F).
  - (2) by adding thereto, the following sections:

"720 The lands designated R2A- Section 720 on Sheet 16 of Schedule A to this by-law:

720.1 shall only be used for the following purposes:

    - (a) a semi-detached dwelling;
    - (b) an auxiliary group home; and,
    - (c) purposes accessory to the other permitted purposes.

720.2 shall be subject to the following requirements and restrictions:

    - (1) Minimum Lot Area: - 225 square metres.
    - (2) Minimum Lot Width:

Interior Lot: - 15.0 metres per lot and 7.5 metres per dwelling unit.

Corner Lot: - 16.8 metres per lot and 9.3 metres for the dwelling unit closest to the flankage lot line.

- (3) Minimum Lot Depth: - 30 metres.
- (4) Minimum Front Yard Depth:
  - 6.0 metres to the front garage and 4.5 metres to the front wall of the dwelling.
- (5) Minimum Exterior Side Yard Width:
  - 3.0 metres, except where a garage faces the exterior side lot line, the minimum setback to the front of the garage shall be 6.0 metres.
- (6) Minimum Rear Yard Depth:
  - 7.5 metres which may be reduced to a minimum of 6.0 metres for a dwelling unit, provided that the area of the rear yard is at least 25% of the minimum lot area for the particular unit.
- (7) Minimum Interior Side Yard Width:
  - 1.2 metres, except along the common wall lot line where the setback may be 0 metres.
- (8) Minimum Landscaped Open Space:
  - (a) 40% of the minimum front yard area; and,
  - (b) 30% of the minimum front yard area if the acute angle at the intersection of the side lot lines extended beyond the front lot line is greater than 25 degrees.
- (9) the following provisions shall apply to garages:
  - (a) the maximum garage door width per dwelling unit shall be 3.10 metres;
  - (b) the garage door width may be widened by an extra 0.6 metres if the front of the garage is not more than 2.5 metres closer to the front lot line than the ground floor main entrance of the dwelling unit;
  - (c) the garage door width restriction does not apply to the garage door facing a flankage lot line; and,
  - (d) the interior garage width as calculated 3 metres from the garage opening shall not exceed 0.6 metres more than the maximum garage door width permitted on the lot.

## (10) Minimum Setback From F Zone:

No dwelling, building or structure, including fill that is not for the purposes of flood erosion control or resource management, shall be located closer than 10 metres to an F Zone.

720.3 shall also be subject to the requirements and restrictions relating to the R2A zone and all the general provisions of this by-law which are not in conflict with the ones set out in section 720.2.

721 The lands designated R1C- Section 721 on Sheet 16 of Schedule A to this by-law:

721.1 shall only be used for the purposes permitted in an R1C zone.

721.2 shall be subject to the following requirements and restrictions:

- (1) Minimum Lot Area: - 360 square metres.
- (2) Minimum Lot Width:
  - Interior Lot – 12.0 metres.
  - Corner Lot- 13.8 metres.
- (3) Minimum Lot Depth: - 30 metres.
- (4) Minimum Front Yard Depth:
  - 6.0 metres to the front of the garage and 4.5 metres to the front wall of the dwelling.
- (5) Minimum Exterior Side Yard Width:
  - 3.0 metres, except where a garage faces the exterior side lot line, the minimum setback to the front of the garage shall be 6.0 metres.
- (6) Minimum Rear Yard Depth:
  - 7.5 metres which may be reduced to a minimum of 6.0 metres provided that the area of the rear yard is at least 25% of the minimum required lot area.
- (7) Minimum Interior Side Yard Width:
  - (a) 0.6 metres, provided the combined total of the interior side yards on an interior lot is not less than 1.8 metres.
  - (b) 1.2 metres where the sideyard abuts a public walkway or a non-residential zone.
- (8) Minimum Landscaped Open Space:
  - (a) 40% of the minimum front yard area; and,

(b) 30% of the minimum front yard area if the acute angle at the intersection of the side lot lines extended beyond the front lot line is greater than 25 degrees.

(9) the following provisions shall apply to garages:

- (a) the maximum garage door width shall be 5.5 metres;
- (b) the garage door width may be widened by an extra 0.6 metres if the front of the garage is not more than 2.5 metres closer to the front lot line than the ground floor main entrance of the dwelling unit;
- (c) the garage door width restriction does not apply to the garage door facing a flankage lot line; and,
- (d) the interior garage width as calculated 3 metres from the garage opening shall not exceed 0.9 metres more than the maximum garage door width permitted on the lot.

(10) Minimum Setback From F Zone:

No dwelling, building or structure, including fill that is not for the purposes of flood erosion control or resource management, shall be located closer than 10 metres to an F Zone.

721.3 shall also be subject to the requirements and restrictions relating to the R1C zone and all the general provisions of this by-law which are not in conflict with the ones set out in section 721.2.

722 The lands designated R1D- Section 722 on Sheet 16 of Schedule A to this by-law:

722.1 shall only be used for the purposes permitted in an R1D zone.

722.2 shall be subject to the following requirements and restrictions:

- (1) Minimum Lot Area: - 300 square metres.
- (2) Minimum Lot Width:  
  
Interior Lot – 10.0 metres.  
  
Corner Lot- 11.8 metres.
- (3) Minimum Lot Depth: - 30 metres.
- (4) Minimum Front Yard Depth:

- 6.0 metres to the front of the garage and 4.5 metres to the front wall of the dwelling.

(5) Minimum Exterior Side Yard Width:

- 3.0 metres, except where a garage faces the exterior side lot line, the minimum setback to the front of the garage shall be 6.0 metres.

(6) Minimum Rear Yard Depth:

- 7.5 metres which may be reduced to a minimum of 6.0 metres provided that the area of the rear yard is at least 25% of the minimum required lot area.

(7) Minimum Interior Side Yard Width:

- (a) 0.6 metres, provided the combined total of the interior side yards on an interior lot is not less than 1.8 metres.
- (b) 1.2 metres where the sideyard abuts a public walkway or a non-residential zone.

(8) Minimum Landscaped Open Space:

- (a) 40% of the minimum front yard area; and,
- (b) 30% of the minimum front yard area if the acute angle at the intersection of the side lot lines extended beyond the front lot line is greater than 25 degrees.

(9) the following provisions shall apply to garages:

- (a) the maximum garage door width shall be 3.1 metres; except where the lot exceeds 10.36 metres in width and is less than 11.0 metres in width in which case the maximum garage door width shall be 4.12 metres; and except where the lot is 11.0 metres or greater in width in which case the maximum garage door width shall be 5.5 metres.
- (b) the garage door width may be widened by an extra 0.6 metres if the front of the garage is not more than 2.5 metres closer to the front lot line than the ground floor main entrance of the dwelling unit;
- (c) the garage door width restriction does not apply to the garage door facing a flankage lot line; and,
- (d) the interior garage width as calculated 3 metres from the garage opening shall not exceed 0.6 metres more than the maximum garage door width permitted on the lot.

## (10) Minimum Setback From F Zone:

No dwelling, building or structure, including fill that is not for the purposes of flood erosion control or resource management, shall be located closer than 10 metres to an F Zone.

723 The lands designated R3B- Section 723 on Sheet 16 of Schedule A to this by-law:

723.1 shall only be used for the purposes permitted in an R3B zone.

723.2 shall be subject to the following requirements and restrictions:

(1) Minimum Lot Area: - 180 square metres per dwelling unit.

(2) Minimum Lot Width:

Interior Lot: - 18.0 metres per lot and 6.0 metres per dwelling unit.

Corner Lot:- 19.8 metres per lot and 7.8 metres for the dwelling unit closest to the flankage lot line.

(3) Minimum Lot Depth:- 30 metres.

(4) Minimum Front Yard Depth:

- 6.0 metres to the front of the garage and 4.5 metres to the front wall of the dwelling.

(5) Minimum Exterior Side Yard Width:

- 3.0 metres, except where a garage faces the exterior side lot line, the minimum setback to the front of the garage shall be 6.0 metres.

(6) Minimum Rear Yard Depth:

- 7.5 metres which may be reduced to a minimum of 6.0 metres provided that the area of the rear yard is at least 25% of the minimum required lot area.

(7) Minimum Interior Side Yard Width:

- 1.2 metres, except along the common wall lot line, where the setback may be zero.

(8) Minimum Landscaped Open Space:

(a) 40% of the minimum front yard area; and,

(b) 30% of the minimum front yard area if the acute angle at the intersection of the side lot lines extended beyond the front lot line is greater than 25 degrees.

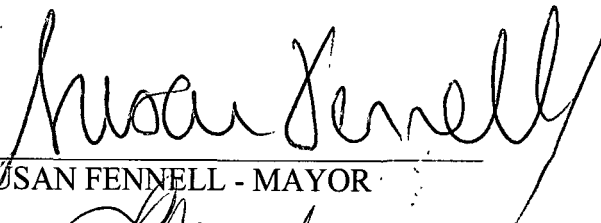
- (9) each dwelling unit shall have direct pedestrian access from the front yard to the rear yard with no more than a two step grade difference inside the unit and without having to pass through a habitable room.
- (10) no more than 8 dwelling units shall be attached or the total maximum dwelling width shall be 50 metres, whichever is the greater.
- (11) Maximum Lot Coverage: none.
- (12) the following provisions shall apply to garages:
  - (a) the maximum garage door width per dwelling unit shall be 2.5 metres;
  - (b) the garage door width may be widened by an extra 0.6 metres if the front of the garage is not more than 2.5 metres closer to the front lot line than the ground floor main entrance of the dwelling unit;
  - (c) the garage door width restriction does not apply to the garage door facing a flankage lot line; and,
  - (d) the interior garage width as calculated 3 metres from the garage opening shall not exceed 0.6 metres more than the maximum garage door width permitted on the lot.

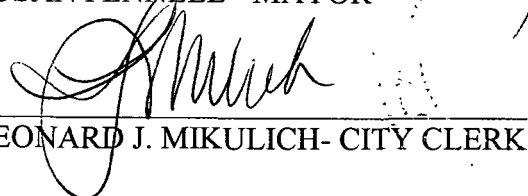
(13) Minimum Setback From F Zone:

No dwelling, building or structure, including fill that is not for the purposes of flood erosion control or resource management, shall be located closer than 10 metres to an F Zone.

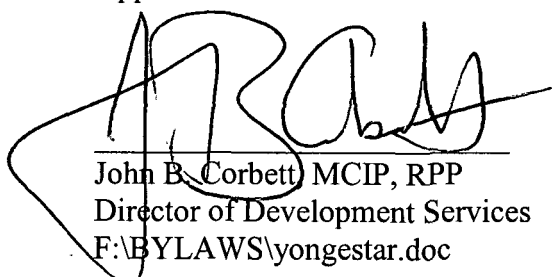
READ a FIRST, SECOND AND THIRD TIME, and PASSED, in OPEN COUNCIL, this 29th day of January, 2001.

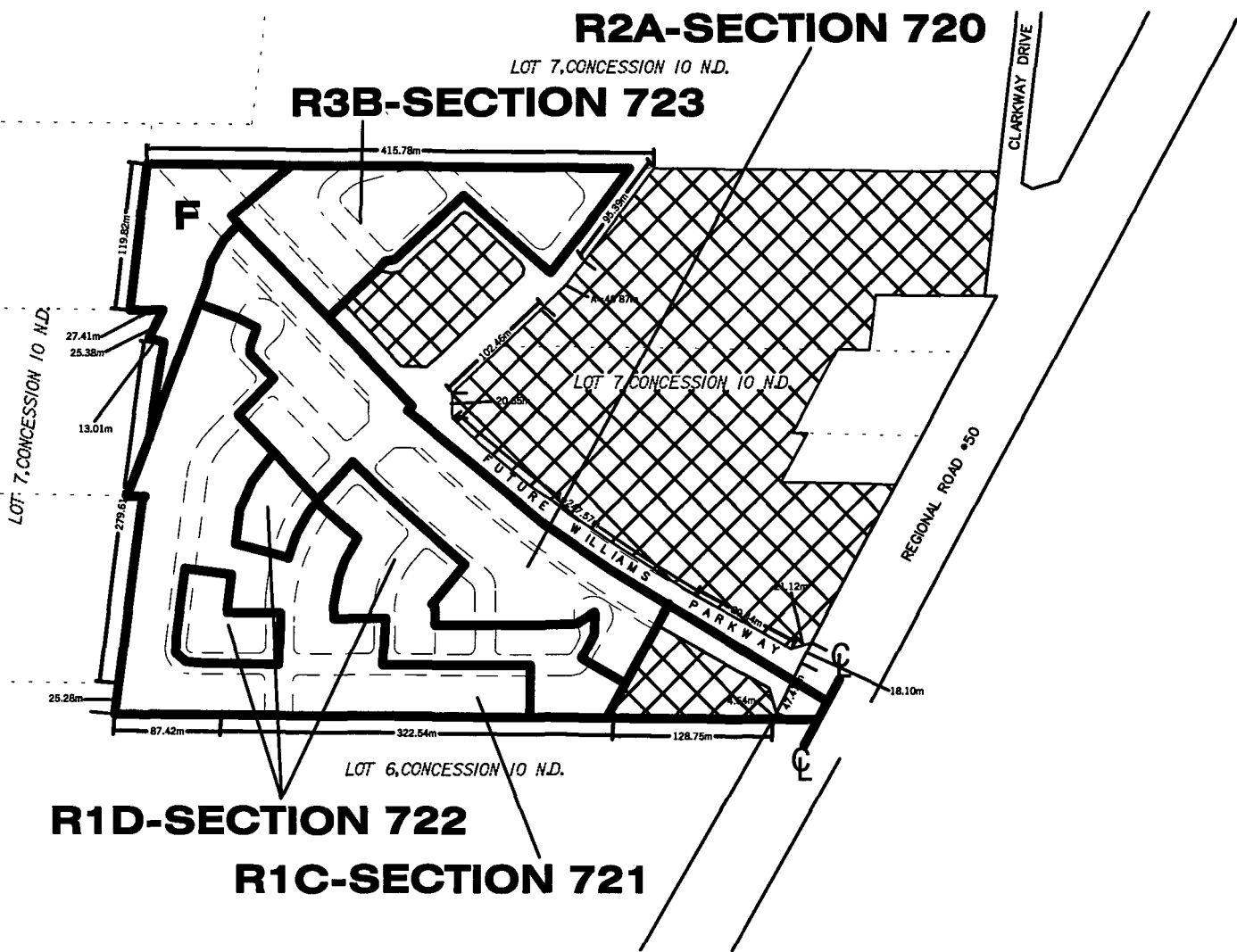
APPROVED  
 ASTORIA  
 LAWYER  
 DATE 1/23/01

  
 SUSAN FENNELL - MAYOR

  
 LEONARD J. MIKULICH - CITY CLERK

Approved as to Content:

  
 John B. Corbett MCIP, RPP  
 Director of Development Services  
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**LEGEND**



LANDS NOT SUBJECT TO THIS BY-LAW



ZONE BOUNDARY



CENTRELINE OF ORIGINAL ROAD ALLOWANCE

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METRES



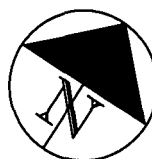
**PART LOT 7, CONCESSION 10 N.D.**

**BY-LAW 56-83**

**SCHEDULE A**

**By-Law 17-2001**

**Schedule A**



**CITY OF BRAMPTON**

Planning and Building

Date: 2000 11 07

Drawn by: CJK

File no. C10E7.4

Map no. 52-13J



(no appeal)

IN THE MATTER OF the *Planning Act*, R.S.O.  
1990, as amended, section 17 and 34:

AND IN THE MATTER OF the City of Brampton  
By-law 17-2001 being a by-law to amend  
Comprehensive Zoning By-law 56-83, as amended  
(YONGESTAR CUSTOM HOMES INC. – File  
C10E7.4)


DECLARATION

I, LEONARD JOSEPH MIKULICH, of the City of Brampton, Region of Peel, DO SOLEMNLY  
DECLARE THAT:

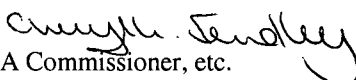
1. I am the Clerk of The Corporation of the City of Brampton and as such have knowledge of the matters herein declared.
2. By-law 16-2001 was passed by the Council of the Corporation of the City of Brampton at its meeting on the 29<sup>th</sup> day of January, 2001, to adopt Amendment Number OP93-150 to the 1993 Official Plan of the City of Brampton Planning Area.
3. The City of Brampton approved the aforementioned Amendment on the 29<sup>th</sup> day of January, 2001.
4. By-law 17-2001 was passed by the Council of the Corporation of the City of Brampton at its meeting held on the 29<sup>th</sup> day of January, 2001.
5. Written notice of By-law 16-2001 as required by section 17(23) and By-law 17-2001 as required by section 34(18) of the *Planning Act* was given on the 1<sup>st</sup> day of February, 2001, in the manner and in the form and to the persons and agencies prescribed by the *Planning Act*, R.S.O. 1990 as amended.
6. No notice of appeal was filed under sections 17(24) and 34(19) of the *Planning Act* on or before the final date for filing objections.
7. In all other respects this Official Plan Amendment has been processed in accordance with all of the *Planning Act* requirements including regulations for notice.
8. OP93-150 is deemed to have come into effect on the 22<sup>nd</sup> day of February, 2001, in accordance with Section 17(27) of the *Planning Act*, R.S.O. 1990, as amended.

And I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath.

DECLARED before me at the  
City of Brampton in the  
Region of Peel this 27<sup>th</sup> day  
of February, 2001.



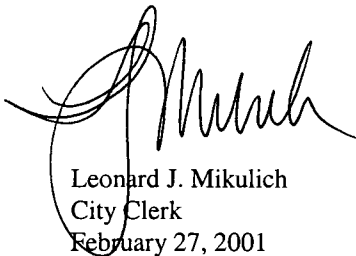
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A Commissioner, etc.

Cheryl Lyn Fendley, a Commissioner etc.,  
Regional Municipality of Peel, for  
The Corporation of The City of Brampton  
Expires October 18, 2002.

I, Leonard J. Mikulich, City Clerk, of the City of Brampton, hereby certify that the attached by-law, being By-law 56-83, and amending by-laws, attached hereto and listed below, are true copies:

93-83, 23-84, 46-84, 51-84, 127-84, 174-84, 259-84, 263-84, 264-84, 304-84, 310-84,  
87-85, 125-85, 127-85, 264-85, 330-85,  
35-86, 51-86, 73-86, 79-86, 136-86, 140-86, 161-86, 189-86, 227-86, 243-86, 251-86, 254-86, 319-86,  
22-87, 27-87, 34-87, 52-87, 68-87, 79-87, 90-87, 106-87, 133-87, 163-87, 213-87, 218-87, 229-87,  
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17-2001



Leonard J. Mikulich  
City Clerk  
February 27, 2001