



THE CORPORATION OF THE CITY OF BRAMPTON

BY-LAW

Number 43-2007

To amend Zoning By-law 270-2004, as amended.

The Council of The Corporation of the City of Brampton ENACTS as follows:

1. Zoning By-law 270-2004, as amended, is hereby further amended:

(1) by changing on Schedule "A" thereto, the zoning designation of the lands shown outlined on Schedule "A" attached to this by-law

From	To
Recreation Commercial – SECTION 1029 (RC-1029)	Service Commercial – SECTION 1383 (SC-1383)

(2) by adding thereto the following section:

"1383 The lands designated SC - 1383 on Schedule A to this by-law:

1383.1 shall only be used for the purposes of the SC Zone and a home furnishing and home improvement retail warehouse, but not a supermarket, tavern, religious institution, group home or lodging house.

1383.2 shall be subject to the following requirements and restrictions:

(1) Minimum Landscaped Open Space:

- a) 4.5 metres abutting Regional Road 107, except at approved access locations.
- b) 4 metres abutting Heart Lake Road, except at approved access locations.
- c) 5 metres abutting the east property line.


- (2) Minimum building setbacks:
- a) The following building setbacks shall apply to a home furnishings and home improvement retail warehouse:
 - i) 40 metres from Heart Lake Road.
 - ii) 16 metres from Bovaird Drive.
 - iii) 17 metres from the east property line.
 - b) buildings containing all other permitted uses shall comply with minimum yards of the SC Zone.
- (3) Parking requirement:
- a) for a home furnishing and home improvement retail warehouse, including an associated garden centre - a minimum of 650 parking spaces.
 - b) for all other permitted uses - the parking requirements in accordance with the SC Zone.
- (4) Maximum gross floor area for a home furnishing and home improvement retail warehouse, excluding a garden centre:
- a) 13,500 sq.m.
- (5) Outdoor Storage:
- a) Outdoor storage of goods and materials is only permitted in conjunction with a home furnishing and home improvement retail warehouse.
 - b) Outdoor storage shall not be located in areas required for landscaping and parking.

1383.3 for the purpose of this Section:

- (1) Home Furnishings and Home Improvement Retail Warehouse shall mean a building or structure occupied by a single user and having a minimum gross floor area of 8,361 square metres. The predominant use permitted shall be for the sale of home furnishings and home improvement products which are displayed, stored or sold in a warehouse format. Such products may include furniture, appliances, electrical fixtures, building supplies, carpets and floor coverings, landscape and garden supplies and plumbing fixtures.

1383.4 For the purposes of this section, all lands zoned SC-1383 shall be interpreted as one (1) lot for zoning purposes."

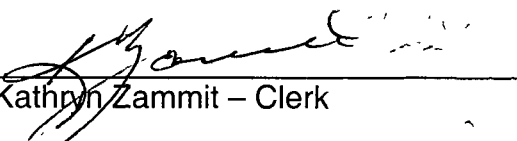
READ a FIRST, SECOND and THIRD TIME, and PASSED, in OPEN COUNCIL, this 12 day of February 2007.



Susan Fennell - Mayor

APPROVED
AS TO FORM
LAW DEPT.
BRAMPTON

C.C.C.
DATE 02/12/07

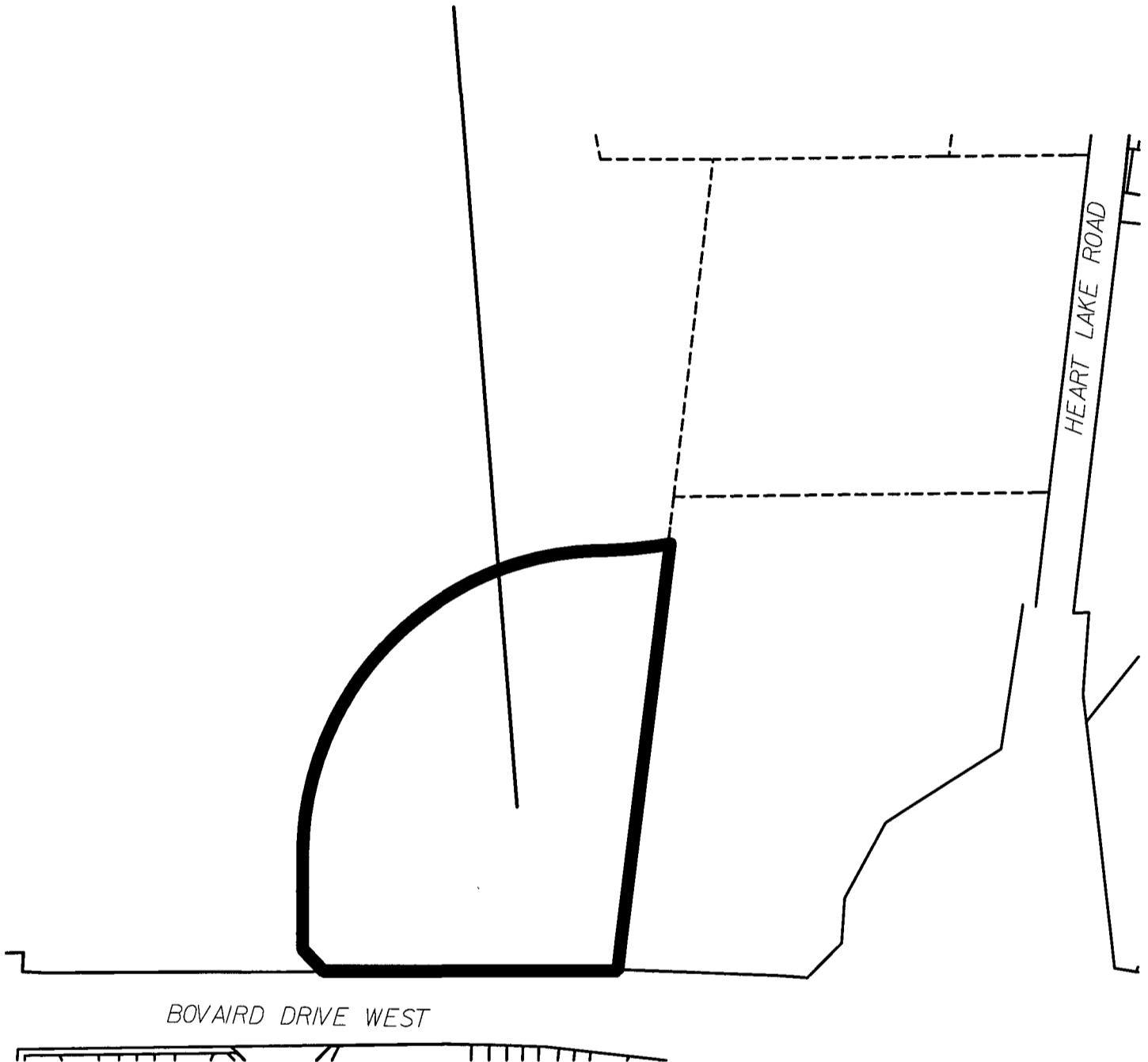


Kathryn Zammit - Clerk






Approved as to Content
Adrian Smith, M.C.I.P., R.P.P.
Director of Planning and Land Development Services

SC-1383



LEGEND

-  ZONE BOUNDARY
-  CENTRELINE OF ORIGINAL ROAD ALLOWANCE
-  METRES



PART LOT 11, CONCESSION 2 E.H.S.



CITY OF BRAMPTON
Planning, Design and Development

By-Law 43-2007

Schedule A

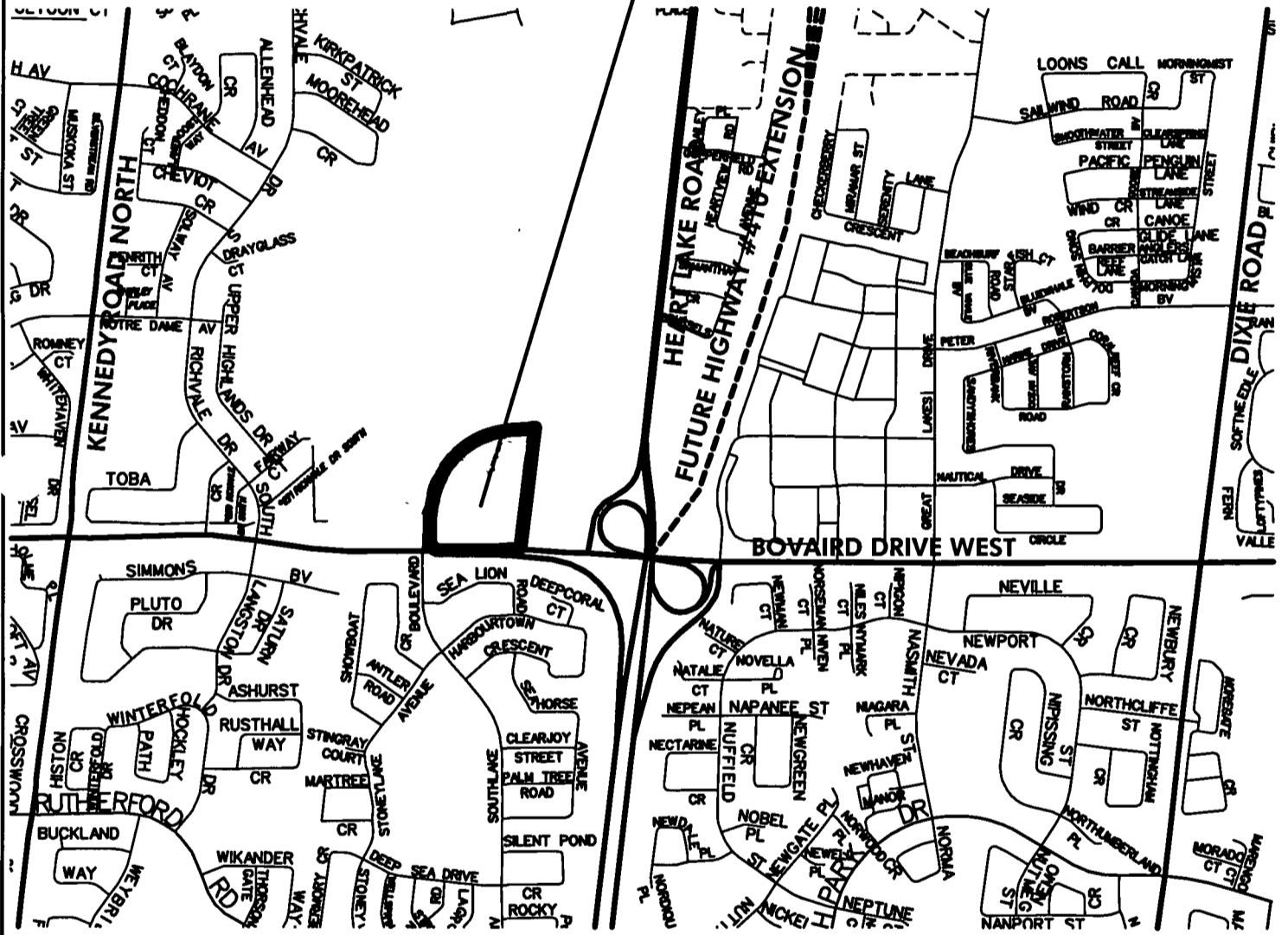
Date: 2007 01 04

Drawn by: CJK

File no. C2E11.19zbla

Map no. 26-52

SUBJECT LANDS



In the matter of the *Planning Act*, R.S.O. 1990, as amended, sections 17 and 34:

And in the matter of the City of Brampton By-law 42-2007 being a by-law to adopt Official Plan Amendment OP93-277 and By-law 43-2007 to amend Zoning By-law 270-2004 as amended –
Ranburne Holdings Limited (Lowe's) File C2E11.19

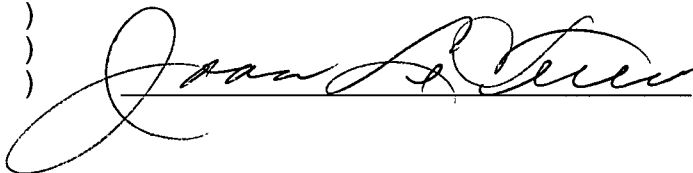
DECLARATION

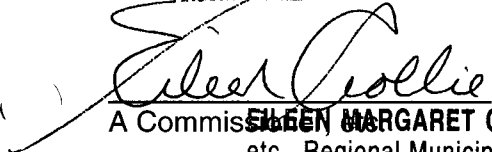
I, Joan LeFeuvre, of the Town of Halton Hills, in the Region of Halton, hereby make oath and say as follows:

1. I am the Deputy Clerk of The Corporation of the City of Brampton and as such have knowledge of the matters herein declared:
2. By-law 42-2007 was passed by the Council of the Corporation of the City of Brampton at its meeting on the 12th day of February, 2007, to adopt Amendment Number OP93-277 to the 1993 Official Plan.
3. By-law 43-2007 was passed by the Council of the Corporation of the City of Brampton at its meeting held on the 12th day of February, 2007, to amend Zoning By-law 270-2004, as amended.
4. Written notice of By-law 42-2007 as required by section 17(23) and By-law 43-2007 as required by section 34(18) of the *Planning Act* was given on the 21st day of February, 2007, in the manner and in the form and to the persons and agencies prescribed by the *Planning Act*, R.S.O. 1990 as amended.
5. No notice of appeal was filed under section 17(24) and section 34(19) of the *Planning Act* on or before the final date for filing objections.
6. In all other respects the Official Plan Amendment and Zoning By-law have been processed in accordance with all of the *Planning Act* requirements including regulations for notice.
7. OP93-277 is deemed to have come into effect on the 14th day of March, 2007, in accordance with Section 17(27) of the *Planning Act*, R.S.O. 1990, as amended.
8. Zoning By-law 43-2007 is deemed to have come into effect on the 12th day of February, 2007, in accordance with Section 34(19) of the *Planning Act*, R.S.O. 1990, as amended.

And I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath.

DECLARED before me at the)
City of Brampton in the
Region of Peel this
16th day of March, 2007.

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A Commissioner
MARGARET COLLIE, A Commissioner
etc., Regional Municipality of Peel for
The Corporation of The City of Brampton
Expires February 2, 2008.