



THE CORPORATION OF THE CITY OF BRAMPTON

BY-LAW

Number 45-87

To amend By-law 200-82 (part of Lot 7, Concession 2, W.H.S., in the geographic Township of Chinguacousy)

The council of The Corporation of the City of Brampton ENACTS as follows:

1. The zoning designation of the lands shown on Schedule A to this by-law is changed from AGRICULTURAL CLASS 1 (A1), as provided in By-law 861, to RESIDENTIAL SINGLE - FAMILY B (R1B), RESIDENTIAL SINGLE - FAMILY C (R1C), RESIDENTIAL SINGLE - FAMILY D (R1D), RESIDENTIAL STREET TOWNHOUSES - SECTION 258 - (R3B-SECTION 258), INSTITUTIONAL ONE (I1) and OPEN SPACE (OS), as provided in By-law 200-82, such lands being part of Lot 7, Concession 2, West of Hurontario Street, in the geographic Township of Chinguacousy.
2. By-law 200-82, as amended, is hereby further amended:
 - (1) by including, within the land to which By-law 200-82 applies, the lands shown outlined on Schedule A to this by-law.
 - (2) by deleting the Key Map of Schedule A thereto, and substituting therefor Schedule B to this by-law.
 - (3) by adding thereto, as Sheet 38 of Schedule A, Schedule C to this by-law.
 - (4) by adding thereto the following section:

"258 The lands designated R3B - Section 258 on Sheet 38 of Schedule A to this by-law:

258.1 shall only be used for the purposes permitted in a R3B zone by section 13.2.1.

258.2 shall be subject to the following requirements and restrictions:

 - (1) each dwelling unit shall have direct pedestrian

access from the front yard to the rear yard without having to pass through any habitable room.

(2) the maximum number of dwelling units which may be attached shall not exceed 8.

(3) the minimum lot area per dwelling unit shall be:

Interior Lot - 185 square metres

Corner Lot - 275 square metres

(4) the minimum lot width per dwelling unit shall be:

Interior Lot - 6 metres

Corner Lot - 9 metres

258.3 shall also be subject to the requirements and restrictions relating to the R3B zone and all the general provisions of this by-law which are not in conflict with the ones set out in section 258.2."

READ a FIRST, SECOND and THIRD TIME, and PASSED, in OPEN COUNCIL,

this 23rd day of February 1987.

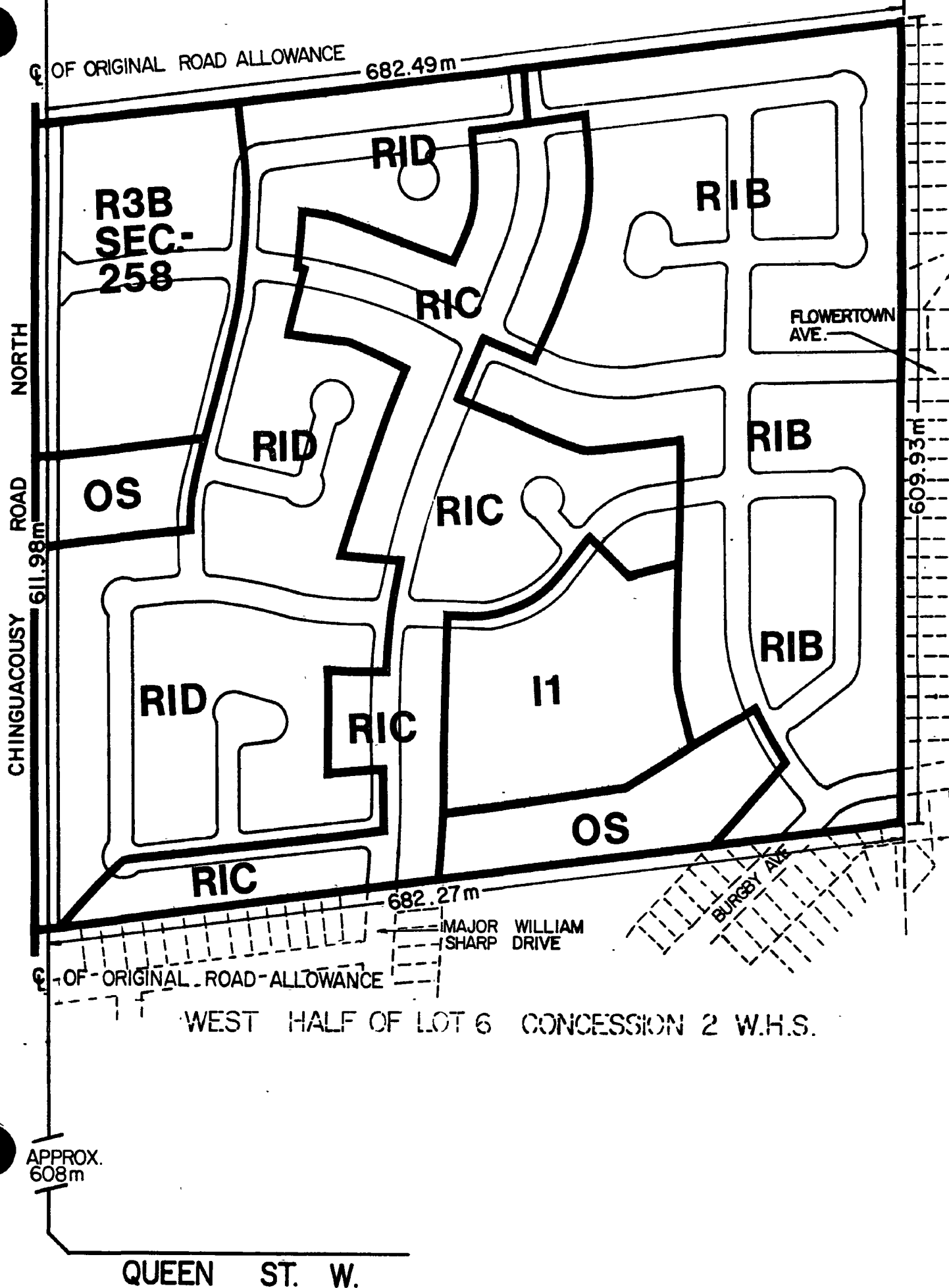

KENNETH G. WHILLANS - MAYOR


LEONARD J. MIKULICH - CLERK

APPROVED
AS TO FORM
LAW DEPT
BRAMPTON

DATE

WEST HALF OF LOT 8 CONCESSION 2 W.H.S.



PART LOT 7, CON. 2, W.H.S.(CHING.)

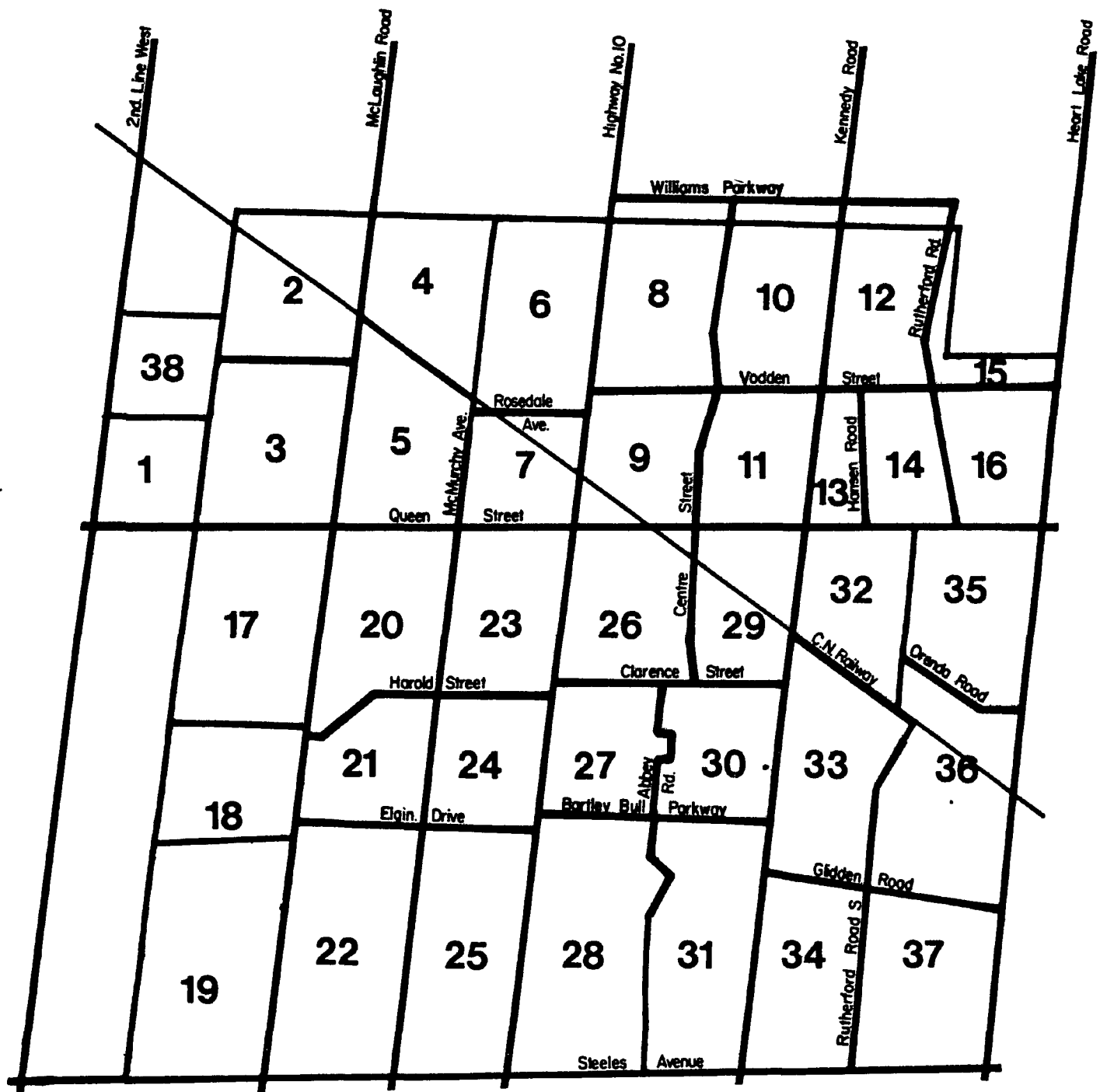


CITY OF BRAMPTON
Planning and Development

By-Law 45-87 Schedule A

1:3900

Date: 86 04 03 Drawn by: K.L.
File no.C2W7.1 Map no.41-7D



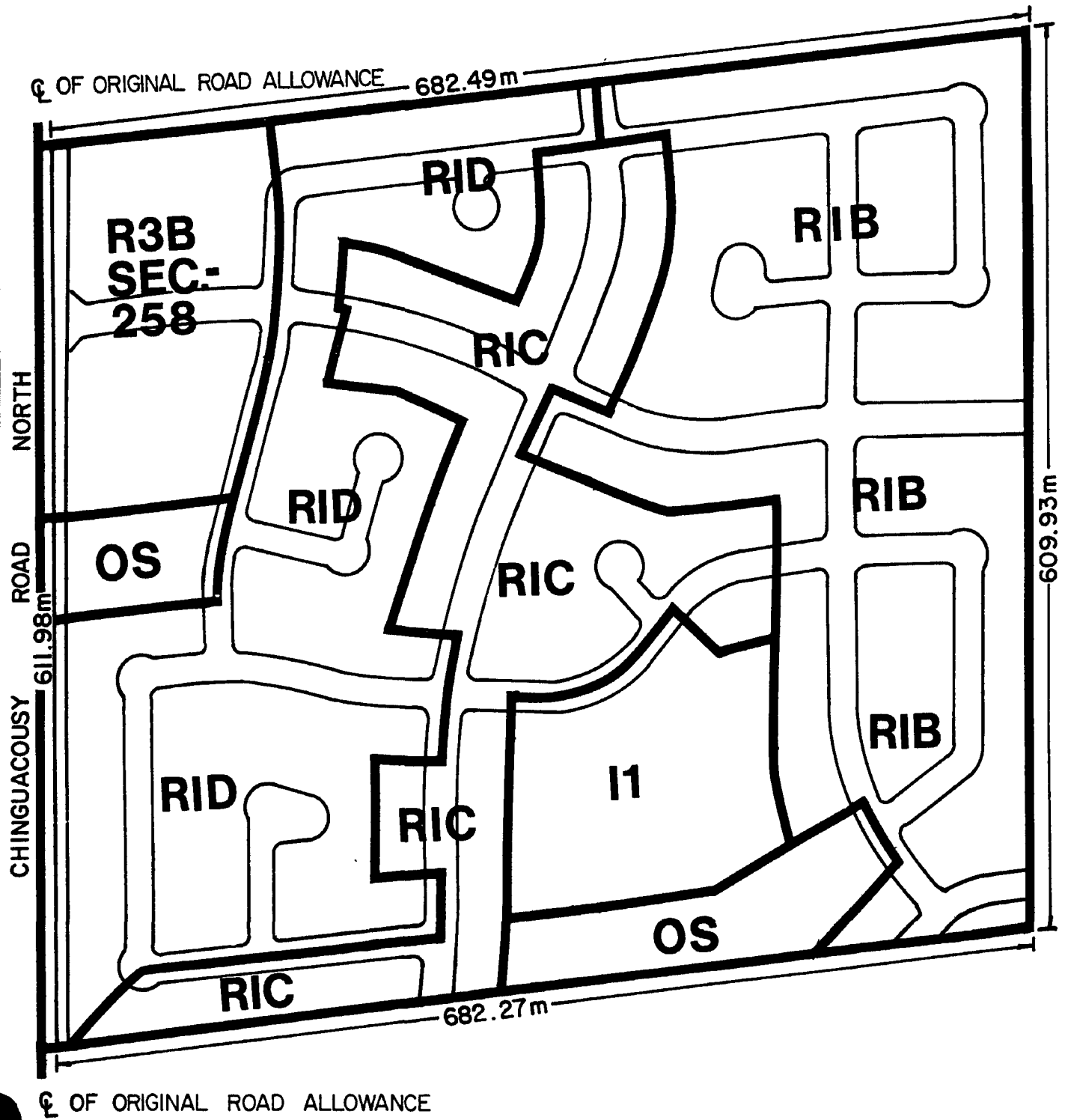
Schedule A Key Plan
 BY-LAW 200-82

By-Law 45-87 Schedule B



CITY OF BRAMPTON
 Planning and Development

Date: 86 04 03 Drawn by: K.L.
 File no. C2W7.1 Map no. 41-7F



Schedule A Sheet 38
 BY-LAW 200-82

By-Law 45-87 Schedule C



1:3900

CITY OF BRAMPTON
 Planning and Development

Date: 86 04 03 Drawn by: K.L.
 File no. C2W7.1 Map no. 41-7E

IN THE MATTER OF the Planning Act,
1983, section 34;

AND IN THE MATTER OF the City of
Brampton By-law 45-87.

DECLARATION

I, LEONARD J. MIKULICH, of the City of Brampton, in the
Region of Peel, DO SOLEMNLY DECLARE THAT:

1. I am the Clerk of The Corporation of the
City of Brampton and as such have knowledge
of the matters herein declared.
2. By-law 45-87 was passed by the Council of
the Corporation of the City of Brampton at
its meeting held on February, 23rd, 1987.
3. Written notice of By-law 45-87 as required
by section 34 (17) of the Planning Act, 1983
was given on March 10th, 1987, in the manner
and in the form and to the persons and
agencies prescribed by the Planning Act,
1983.
4. No notice of appeal under section 34(18) of
the Planning Act, 1983 has been filed with
me to the date of this declaration.

DECLARED before me at the City of)
Brampton in the Region of Peel)
this 31st day of March, 1987.)

A commissioner, etc.)

ROBERT D. TUFTS, Commissioner,
etc., Judicial District of Peel, for The
Corporation of the City of Brampton.
Expires May 25th, 1988.

