



THE CORPORATION OF THE CITY OF BRAMPTON

BY-LAW

Number 49-2001

To amend By-law 151-88, as amended

The Council of The Corporation of the City of Brampton ENACTS as follows:

1. By-law 151-88, as amended, is hereby further amended:
 - (1) by changing on Sheet 23 of Schedule A thereto, the zoning designation of the lands shown outlined on Schedule A to this by-law from AGRICULTURAL (A), RESIDENTIAL SINGLE FAMILY B - SECTION 946 (R1B - SECTION 946), RESIDENTIAL SINGLE FAMILY B - SECTION 947 (R1B - SECTION 947) AND INSTITUTIONAL ONE - SECTION 944 (I1 - SECTION 944) to RESIDENTIAL SINGLE FAMILY D - SECTION 1073 (RID - SECTION 1073), RESIDENTIAL SINGLE FAMILY C - SECTION 945 (RIC - SECTION 945), RESIDENTIAL SINGLE FAMILY C - SECTION 1074 (R1C - SECTION 1074), RESIDENTIAL SINGLE FAMILY C - SECTION 1075 (R1C - SECTION 1075), RESIDENTIAL SINGLE FAMILY C - SECTION 1076 (R1C - SECTION 1076), RESIDENTIAL SINGLE FAMILY B - SECTION 1077 (R1B - SECTION 1077), RESIDENTIAL SINGLE FAMILY B - SECTION 1095 (RIB - SECTION 1095), RESIDENTIAL SINGLE FAMILY B - SECTION 947 (R1B - SECTION 947), INSTITUTIONAL ONE - SECTION 944 (I1 - SECTION 944), INSTITUTIONAL ONE - SECTION 1043 (I1 - SECTION 1043), FLOODPLAIN (F) and OPEN SPACE (OS);
 - (2) by deleting therefrom Sections 944, 945 and 947 in their entirety and substituting therefor the following sections:

"944 The lands designated I1 - SECTION 944 on Sheet 23 of Schedule A to this by-law:

944.1 shall only be used for the purposes permitted by section 944.1(1), or the purposes permitted by section 944.1(2), but not both sections and not any combination of both sections:

either:

 - (1) the following:
 - (a) a public or private school;
 - (b) a day nursery;
 - (c) a park, playground or recreation facility operated by a public authority; and,
 - (d) purposes accessory to the other permitted purposes;

or:

- (2) the following:
 - (a) those purposes permitted in a R1B - SECTION 1077 zone;
 - (b) a park, playground or recreation facility operated by a public authority; and,
 - (c) purposes accessory to the other permitted purposes.

944.2 shall be subject to the following requirements and restrictions:

- (1) for those purposes permitted in a R1B - SECTION 1077 zone, the requirements and restrictions as set out in a R1B - SECTION 1077 zone;

944.3 shall also be subject to the requirements and restrictions relating to the I1 zone and all the general provisions of this by-law which are not in conflict with the ones set out in section 944.2.

945 The lands designated R1C - SECTION 945 on Sheet 23 of Schedule A to this by-law:

945.1 shall only be used for the purposes permitted in a R1C zone.

945.2 shall be subject to the following requirements and restrictions:

- (1) Minimum Lot Area: 336.0 square metres;
- (2) Minimum Lot Width:
 - Interior Lot: 11.2 metres;
 - Corner Lot: 13.0 metres;
- (3) Minimum Lot Depth: 30.0 metres;
- (4) Minimum Front Yard Depth:
 - 4.5 metres to the front wall of a dwelling;
- (5) Minimum Rear Yard Depth:
 - 7.5 metres which may be reduced to a minimum of 6.0 metres provided that the area of the rear yard is at least 25% of the minimum required lot area;
- (6) Minimum Exterior Side Yard Width:
 - 3.0 metres to the side wall of a dwelling;
- (7) Minimum Interior Side Yard Width:
 - (a) 0.6 metres, provided the combined total of the interior side yards on an interior lot is not less than 1.8 metres; and,
 - (b) 1.2 metres where the side yard abuts a public walkway or a non-residential zone;
- (8) No permanent structures and excavations shall be located within 10.0 metres of the limit of the TransCanada Pipeline right-of-way;
- (9) Minimum Landscaped Open Space:
 - (a) 40% of the minimum front yard area; and,

(b) 30% of the minimum front yard area if the acute angle at the intersection of the side lot lines extended beyond the front lot line is greater than 25 degrees;

(10) Minimum Setback to a Garage Door: 5.4 metres;

(11) No garage shall project into the front yard more than 1.5 metres beyond a porch or front wall of a dwelling;

(12) the following provisions shall apply to garages:

(a) the maximum garage door width shall be 5.5 metres;

(b) the garage door width may be widened by an extra 0.6 metres if the front of the garage is not more than 2.5 metres closer to the front lot line than the ground floor main entrance of the dwelling unit;

(c) the garage door width restriction does not apply to the garage door facing a flankage lot line;

(d) the interior garage width, as calculated 3.0 metres from the garage opening shall not be 0.9 metres more than the maximum garage door width permitted on the lot;

945.3 shall also be subject to the requirements and restrictions relating to the R1C zone and all the general provisions of this by-law which are not in conflict with the ones set out in section 945.2.

947 The lands designated R1B - SECTION 947 on Sheet 23 of Schedule A to this by-law:

947.1 shall only be used for the purposes permitted in a R1B zone.

947.2 shall be subject to the following requirements and restrictions:

(1) Minimum Lot Area: 408.0 square metres;

(2) Minimum Lot Width:

Interior Lot: 17.0 metres;

Corner Lot: 18.8 metres;

(3) Minimum Lot Depth: 24.0 metres;

(4) Minimum Front Yard Depth:

4.5 metres to the front wall of a dwelling;

(5) Minimum Rear Yard Depth:

7.5 metres which may be reduced to a minimum of 6.0 metres provided that the area of the rear yard is at least 25% of the minimum required lot area;

(6) Minimum Exterior Side Yard Width:

3.0 metres to the side wall of a dwelling;

(7) Minimum Interior Side Yard Width:

(a) 0.6 metres, provided the combined total of the interior side yards on an interior lot is not less than 1.8 metres; and,

(b) 1.2 metres where the side yard abuts a public walkway or a non-residential zone;

(8) Minimum Landscaped Open Space:

(a) 40% of the minimum front yard area; and,

(b) 30% of the minimum front yard area if the acute angle at the intersection of the side lot lines extended beyond the front lot line is greater than 25 degrees;

(9) Minimum Setback to a Garage Door: 5.4 metres;

(10) No garage shall project into the front yard more than 1.5 metres beyond a porch or front wall of a dwelling;

(11) The following provisions shall apply to garages:

(a) the maximum garage door width shall be 5.5 metres;

(b) the garage door width may be widened by an extra 0.6 metres if the front of the garage is not more than 2.5 metres closer to the front lot line than the ground floor main entrance of the dwelling unit;

(c) the garage door width restriction does not apply to the garage door facing a flankage lot line;

(d) the interior garage width, as calculated 3.0 metres from the garage opening shall not be 0.9 metres more than the maximum garage door width permitted on the lot;

947.3 shall also be subject to the requirements and restrictions relating to the R1B zone and all the general provisions of this by-law which are not in conflict with the ones set out in section 947.2.”

(3) by adding thereto, the following sections:

“1073 The lands designated R1D - SECTION 1073 on Sheet 23 of Schedule A to this by-law:

1073.1 shall only be used for the purposes permitted in a R1D zone.

1073.2 shall be subject to the following requirements and restrictions:

(1) Minimum Lot Area: 218.0 square metres;

(2) Minimum Lot Width:

Interior Lot: 9.1 metres;
Corner Lot: 10.9 metres;

(3) Minimum Lot Depth: 24.0 metres;

(4) Minimum Front Yard Depth:

4.5 metres to the front wall of a dwelling;

- (5) Minimum Rear Yard Depth:
7.5 metres which may be reduced to a minimum of 6.0 metres provided that the area of the rear yard is at least 25% of the minimum required lot area;
- (6) Minimum Exterior Side Yard Width:
3.0 metres to the side wall of a dwelling;
- (7) Minimum Interior Side Yard Width:
 - (a) 0.6 metres, provided the combined total of the interior side yards on an interior lot is not less than 1.8 metres; and,
 - (b) 1.2 metres where the side yard abuts a public walkway or a non-residential zone;
- (8) Minimum Landscaped Open Space:
 - (a) 40% of the minimum front yard area; and,
 - (b) 30% of the minimum front yard area if the acute angle at the intersection of the side lot lines extended beyond the front lot line is greater than 25 degrees;
- (9) Minimum Setback to a Garage Door:
 - (a) 6.0 metres on the sidewalk side of a street having a right-of-way width equal to or greater than 17.0 metres but less than 20 metres;
 - (b) 5.5 metres on the non-sidewalk side of a street having a right-of-way width equal to or greater than 17.0 metres but less than 20 metres; right-of-way; and,
 - (c) 5.5 metres on a street having a 20.0 metre wide road right-of-way or greater;
- (10) No garage shall project into the front yard more than 1.5 metres beyond a porch or front wall of a dwelling;
- (11) the following provisions shall apply to garages:
 - (a) the maximum garage door width shall be 3.1 metres;
 - (b) the garage door width may be widened by an extra 0.6 metres if the front of the garage is not more than 2.5 metres closer to the front lot line than the ground floor main entrance of the dwelling unit;
 - (c) the garage door width restriction does not apply to the garage door facing a flankage lot line;
 - (d) the interior garage width, as calculated 3.0 metres from the garage opening shall not be 0.6 metres more than the maximum garage door width permitted on the lot;
- (12) Maximum Building Height: 2 storeys;

- 1073.3 shall also be subject to the requirements and restrictions relating to the R1D zone and all the general provisions of this by-law which are not in conflict with the ones set out in section 1073.2.
- 1074 The lands designated R1C - SECTION 1074 on Sheet 23 of Schedule A to this by-law:
- 1074.1 shall only be used for the purposes permitted in a R1C zone.
- 1074.2 shall be subject to the following requirements and restrictions:
- (1) Minimum Lot Area: 268.0 square metres;
 - (2) Minimum Lot Width:
 - Interior Lot: 11.2 metres;
 - Corner Lot: 13.0 metres;
 - (3) Minimum Lot Depth: 24.0 metres;
 - (4) Minimum Front Yard Depth:
 - 4.5 metres to the front wall of a dwelling;
 - (5) Minimum Rear Yard Depth:
 - 7.5 metres which may be reduced to a minimum of 6.0 metres provided that the area of the rear yard is at least 25% of the minimum required lot area;
 - (6) Minimum Exterior Side Yard Width:
 - 3.0 metres to the side wall of a dwelling;
 - (7) Minimum Interior Side Yard Width:
 - (a) 0.6 metres, provided the combined total of the interior side yards on an interior lot is not less than 1.8 metres; and,
 - (b) 1.2 metres where the side yard abuts a public walkway or a non-residential zone;
 - (8) No permanent structures and excavations shall be located within 10.0 metres of the limit of the TransCanada Pipeline right-of-way;
 - (9) Minimum Landscaped Open Space:
 - (a) 40% of the minimum front yard area; and,
 - (b) 30% of the minimum front yard area if the acute angle at the intersection of the side lot lines extended beyond the front lot line is greater than 25 degrees;
 - (10) Minimum Setback to a Garage Door: 5.4 metres;
 - (11) No garage shall project into the front yard more than 1.5 metres beyond a porch or front wall of a dwelling;
 - (12) The following provisions shall apply to garages:
 - (a) the maximum garage door width shall be 5.5 metres;

- (b) the garage door width may be widened by an extra 0.6 metres if the front of the garage is not more than 2.5 metres closer to the front lot line than the ground floor main entrance of the dwelling unit;
- (c) the garage door width restriction does not apply to the garage door facing a flankage lot line;
- (d) the interior garage width, as calculated 3.0 metres from the garage opening shall not be 0.9 metres more than the maximum garage door width permitted on the lot;

1074.3 shall also be subject to the requirements and restrictions relating to the R1C zone and all the general provisions of this by-law which are not in conflict with the ones set out in section 1074.2.

1077 The lands designated R1B - SECTION 1077 on Sheet 23 of Schedule A to this by-law:

1077.1 shall only be used for the purposes permitted in a R1B zone.

1077.2 shall be subject to the following requirements and restrictions:

(1) Minimum Lot Area: 336.0 square metres;

(2) Minimum Lot Width:

Interior Lot: 14.0 metres;

Corner Lot: 15.8 metres;

(3) Minimum Lot Depth: 24.0 metres;

(4) Minimum Front Yard Depth:

4.5 metres to the front wall of a dwelling;

(5) Minimum Rear Yard Depth:

7.5 metres which may be reduced to a minimum of 6.0 metres provided that the area of the rear yard is at least 25% of the minimum required lot area;

(6) Minimum Exterior Side Yard Width:

3.0 metres to the side wall of a dwelling;

(7) Minimum Interior Side Yard Width:

(a) 0.6 metres, provided the combined total of the interior side yards on an interior lot is not less than 1.8 metres; and,

(b) 1.2 metres where the side yard abuts a public walkway or a non-residential zone;

(8) Minimum Landscaped Open Space:

(a) 40% of the minimum front yard area; and,

(b) 30% of the minimum front yard area if the acute angle at the intersection of the side lot lines extended beyond the front lot line is greater than 25 degrees;

- (9) Minimum Setback to a Garage Door: 5.4 metres;
- (10) No garage shall project into the front yard more than 1.5 metres beyond a porch or front wall of a dwelling;
- (11) The following provisions shall apply to garages:
 - (a) the maximum garage door width shall be 5.5 metres;
 - (b) the garage door width may be widened by an extra 0.6 metres if the front of the garage is not more than 2.5 metres closer to the front lot line than the ground floor main entrance of the dwelling unit;
 - (c) the garage door width restriction does not apply to the garage door facing a flankage lot line;
 - (d) the interior garage width, as calculated 3.0 metres from the garage opening shall not be 0.9 metres more than the maximum garage door width permitted on the lot;

1077.3 shall also be subject to the requirements and restrictions relating to the R1B zone and all the general provisions of this by-law which are not in conflict with the ones set out in section 1077.2.

1095 The lands designated R1B - SECTION 1095 on Sheet 23 of Schedule A to this by-law:

1095.1 shall only be used for the purposes permitted in a R1B zone.

1095.2 shall be subject to the following requirements and restrictions:

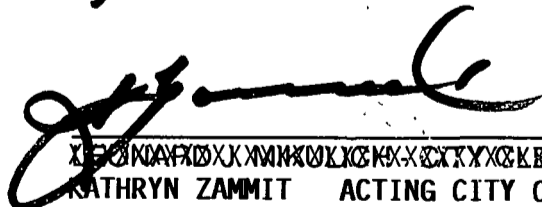
- (1) Minimum Lot Area: 420.0 square metres;
- (2) Minimum Lot Width:
 - Interior Lot: 14.0 metres;
 - Corner Lot: 15.8 metres;
- (3) Minimum Lot Depth: 30.0 metres;
- (4) Minimum Front Yard Depth:
 - 4.5 metres to the front wall of a dwelling;
- (5) Minimum Rear Yard Depth:
 - 7.5 metres which may be reduced to a minimum of 6.0 metres provided that the area of the rear yard is at least 25% of the minimum required lot area;
- (6) Minimum Exterior Side Yard Width:
 - 3.0 metres to the side wall of a dwelling;
- (7) Minimum Interior Side Yard Width:
 - (a) 0.6 metres, provided the combined total of the interior side yards on an interior lot is not less than 1.8 metres; and,
 - (b) 1.2 metres where the side yard abuts a public walkway or a non-residential zone;

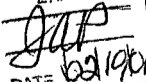
- (8) No permanent structures and excavations shall be located within 10.0 metres of the limit of the TransCanada Pipeline right-of-way;
- (9) Minimum Landscaped Open Space:
 - (a) 40% of the minimum front yard area; and,
 - (b) 30% of the minimum front yard area if the acute angle at the intersection of the side lot lines extended beyond the front lot line is greater than 25 degrees;
- (10) Minimum Setback to a Garage Door: 5.4 metres;
- (11) No garage shall project into the front yard more than 1.5 metres beyond a porch or front wall of a dwelling;
- (12) The following provisions shall apply to garages:
 - (a) the maximum garage door width shall be 5.5 metres;
 - (b) the garage door width may be widened by an extra 0.6 metres if the front of the garage is not more than 2.5 metres closer to the front lot line than the ground floor main entrance of the dwelling unit;
 - (c) the garage door width restriction does not apply to the garage door facing a flankage lot line;
 - (d) the interior garage width, as calculated 3.0 metres from the garage opening shall not be 0.9 metres more than the maximum garage door width permitted on the lot;

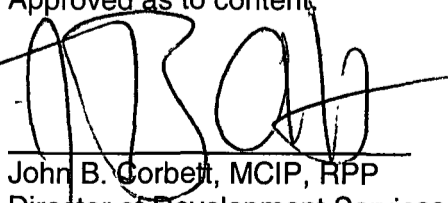
1095.3 shall also be subject to the requirements and restrictions relating to the R1B zone and all the general provisions of this by-law which are not in conflict with the ones set out in section 1095.2."

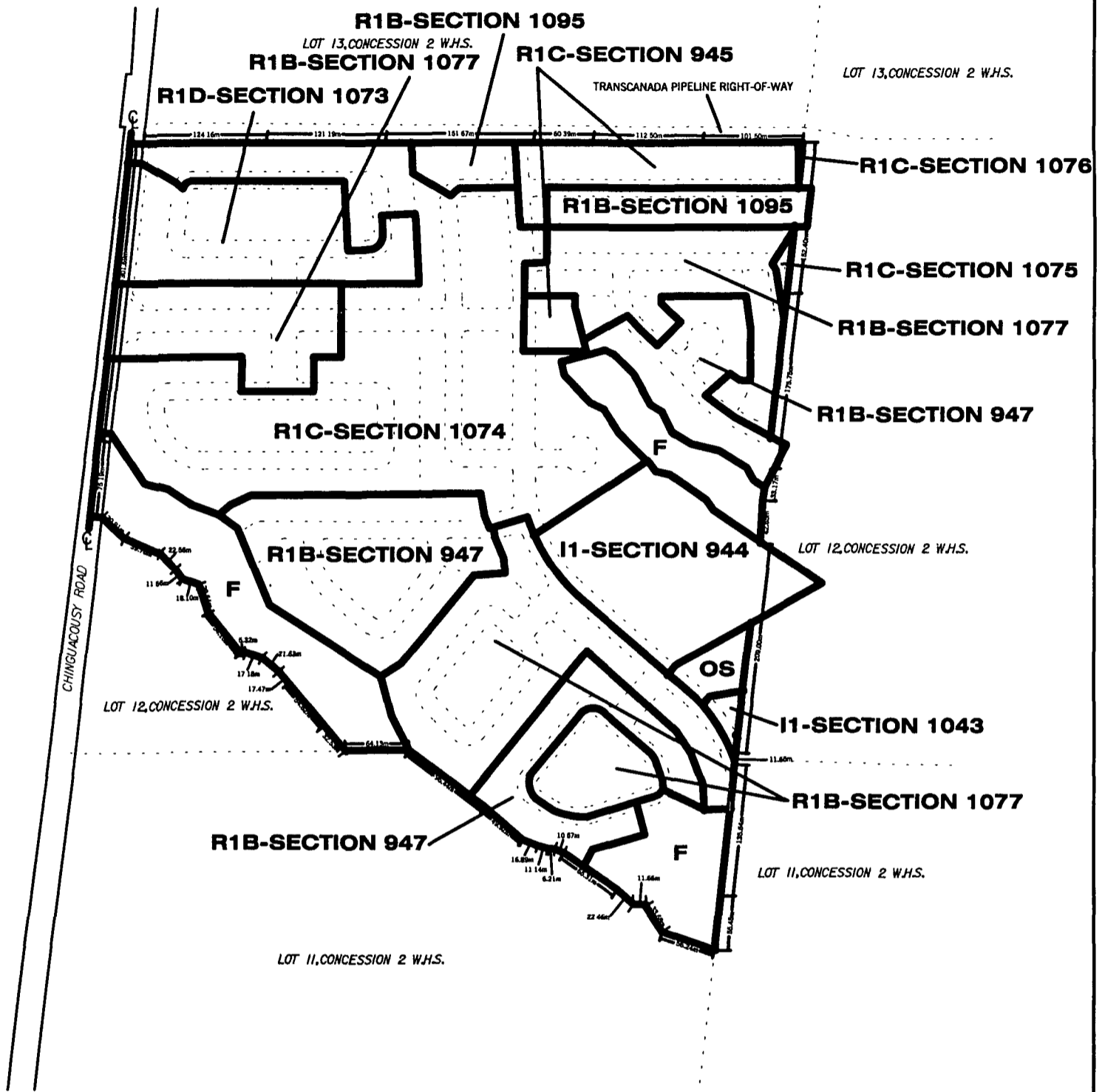
READ a FIRST, SECOND and THIRD TIME and PASSED in OPEN COUNCIL, this 26th day of February, 2001.


 SUSAN FENNELL - MAYOR




 KATHRYN ZAMMIT ACTING CITY CLERK

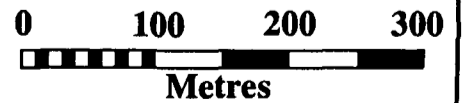
APPROVED
 AS TO FORM
 LAW DEPT
 BRAMPTON

 DATE 02/19/01

Approved as to content:

 John B. Corbett, MCIP, RPP
 Director of Development Services



LEGEND

-  ZONE BOUNDARY
-  CENTRELINE OF ORIGINAL ROAD ALLOWANCE
- m METRES



PART LOTS 11 & 12, CONCESSION 2 W.H.S.

BY-LAW 151-88

SCHEDULE A

By-Law 49-2001

Schedule A



CITY OF BRAMPTON
Planning and Building

Date: 2001 01 10

Drawn by: CJK

File no. C2W12 2

Map no. 23-7H

(no appeal)

IN THE MATTER OF the *Planning Act*, R.S.O. 1990, as amended, section 34;

AND IN THE MATTER OF the City of Brampton By-law 49-2001 being a by-law to amend comprehensive zoning By-law 151-88 as amended (DANIMARHOLDINGS INC. – File: C2W12.2


DECLARATION

I, LEONARD JOSEPH MIKULICH, of the City of Brampton, in the Regional Municipality of Peel, DO SOLEMNLY DECLARE THAT:

1. I am the City Clerk of The Corporation of the City of Brampton and as such have knowledge of the matters herein declared.
2. By-law 49-2001 was passed by the Council of The Corporation of the City of Brampton at its meeting held on the 26th day of February, 2001.
3. Written notice of By-law 49-2001 as required by section 34(18) of the *Planning Act* was given on the 6th day of March, 2001, in the manner and in the form and to the persons and agencies prescribed by the *Planning Act*, R.S.O. 1990 as amended.
4. No notices of appeal were filed under section 34(19) of the *Planning Act* on or before the final date for filing objections.

DECLARED before me at the)
 City of Brampton in the)
 Region of Peel this)
 30th day of March 2001)





A Commissioner, etc.

Eileen Margaret Collie a Commissioner etc..
 Regional Municipality of Peel for
 The Corporation of The City of Brampton.
 Expires March 23, 2002.

I, Leonard J. Mikulich, City Clerk, of the City of Brampton, hereby certify that the attached by-law, being By-law 151-88, and amending by-laws attached hereto and listed below, are true copies:

177-88, 182-88, 184-88, 186-88, 188-88, 191-88, 194-88, 196-88, 210-88, 218-88, 227-88, 232-88, 260-88, 261-88, 265-88,

03-89, 06-89, 14-89, 16-89, 39-89, 43-89, 47-89, 67-89,
101-89, 103-89, 112-89, 121-89, 135-89, 138-89, 153-89, 167-89, 183-89, 192-89, 194-89, 206-89,
223-89, 226-89, 234-89, 236-89, 241-89, 246-89, 267-89, 283-89, 301-89, 313-89,

23-90, 57-90, 70-90, 96-90, 112-90, 113-90, 115-90, 131-90, 137-90, 138-90, 141-90, 178-90, 196-90,
207-90, 250-90, 268-90, 299-90, 300-90,

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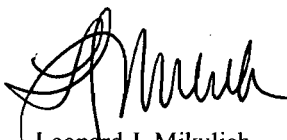
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264-99

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2000

3-2001, 18-2001, 19-2001, 20-2001, 35-2001, 36-2001, 49-2001


Leonard J. Mikulich
City Clerk,
March 30, 2001