



THE CORPORATION OF THE CITY OF BRAMPTON

# BY-LAW

Number 83-87

To amend By-law 861 (part of  
Lot 15, Concession 1, E.H.S.,  
geo-graphic Township of  
Chinguacousy)

The council of The Corporation of the City of Brampton ENACTS as follows:

1. Schedule A to By-law 861, as amended, is hereby further amended by changing the zoning designation of the lands shown outlined on Schedule A to this by-law from AGRICULTURAL CLASS 1 (A1) to RESIDENTIAL R4 - SECTION 499 (R4-SECTION 499), RESIDENTIAL R4 - SECTION 500 (R4 - SECTION 500), RESIDENTIAL R5 - SECTION 501 (R5 - SECTION 501), RESIDENTIAL R4 - SECTION 502 (R4 - SECTION 502) and CONSERVATION AND GREENBELT (G), such lands being part of Lot 15, Concession 1, E.H.S., in the geographic Township of Chinguacousy.
2. Schedule A to this by-law is hereby attached to By-law 861 as part of Schedule A and forms part of By-law 861.
3. By-law 861, as amended, is hereby further amended by adding thereto the following section:

"499.1 The lands designated R4 - SECTION 499 on Schedule A to this by-law:

499.1.1 shall only be used for the following purposes:

- (1) a one family detached dwelling, and
- (2) purposes accessory to the other permitted purposes.

499.1.2 shall be subject to the following requirements and restrictions:

- (1) Minimum lot area - 605 square metres.

- (2) Minimum lot frontage - 22 metres
- (3) Minimum lot depth - 27.5 metres
- (4) Minimum front yard depth
- from the garage - 6.0 metres
- from the dwelling - 3.0 metres
- (5) Minimum side yard width
- 1 storey dwelling - 1.2 metres
- 2 or more storeys  
dwelling - 1.5 metres
- (6) Minimum rear yard depth - 7.6 metres
- (7) Maximum building height - 10 metres
- (8) Minimum landscaped open space - 50% of the front yard of an interior lot, 60% of the front yard of a corner lot and 40% of the front yard where the side lot lines converge towards the front lot lines
- (9) Minimum number of parking spaces per dwelling unit - 2, one of which must be located in a garage
- (10) Accessory buildings
- (a) shall not be used for human habitation,
- (b) shall not exceed 4.5 metres in height, in the case of a peaked roof,
- (c) shall not exceed 3.5 metres in height, in the case of a flat roof,
- (d) shall not be constructed in a front yard or an exterior side yard or within the minimum required side yard,
- (e) shall not be less than 0.6 metres from any lot line;
- (f) shall not be less than 6.0 metres from an exterior lot line, and

(g) shall not have a floor area in excess of 10 square metres.

(11) a private uncovered swimming pool shall only be permitted in a rear yard or a side yard of a lot if it is not closer than 1.2 metres to any lot line or easement.

499.1.3 shall also be subject to the requirements and restrictions relating to the R4 zone and all the general provisions of this by-law which are not in conflict with the ones set out in section 499.1.2.

499.2 For the purposes of section 499,

FRONT LOT LINE shall mean the line that divides a lot from the street, except that for a corner lot, the shorter lot line abutting a street shall be deemed to be the front lot line and the longer lot line abutting a street shall be deemed to be the flankage lot line.

REAR LOT LINE shall mean the lot line opposite to and furthest from the front lot line.

500.1 The lands designated R4 - SECTION 500 on Schedule A to this by-law:

500.1.1 shall only be used for the following purposes:

- (1) a one family detached dwelling, and
- (2) purposes accessory to the other permitted purposes.

500.1.2 shall be subject to the following requirements and restrictions:

(1) Minimum lot area

Interior lot	-	540 square metres
Corner lot	-	630 square metres

(2) Minimum lot frontage

Interior lot	-	18 metres
Corner lot	-	21 metres

- (3) Minimum lot depth - 30 metres
- (4) Minimum front yard depth - 6 metres
- (5) Minimum interior side yard width
  - 1 storey dwelling - 1.2 metres
  - 2 or more storeys dwelling - 1.5 metres
- (6) Minimum exterior side yard width - 3.0 metres
- (7) Minimum rear yard depth - 7.6 metres
- (8) Maximum building height - 10 metres
- (9) Driveway location - no driveway on a corner lot shall be located closer than 6.0 metres to the intersection of street lines as projected
- (10) Garage location - the front of a garage on a corner lot shall not be closer than 6 metres to a street lot line
- (11) Minimum landscaped open space - 50% of the front yard of an interior lot, 60% of the front yard of a corner lot and 40% of the front yard where the side lot lines converge towards the front lot lines
- (12) Minimum number of parking spaces per dwelling unit - 2, one of which must be located in a garage
- (13) Accessory buildings
  - (a) shall not be used for human habitation,
  - (b) shall not exceed 4.5 metres in height, in the case of a peaked roof,

- (c) shall not exceed 3.5 metres in height, in the case of a flat roof,
- (d) shall not be constructed in a front yard or an exterior side yard or within the minimum required side yard,
- (e) shall not be less than 0.6 metres from any lot line;
- (f) shall not have a floor area in excess of 10 square metres.

(14) a private uncovered swimming pool shall only be permitted in a rear yard or a side yard of a lot if it is not closer than 1.2 metres to any lot line or easement.

500.1.3 shall also be subject to the requirements and restrictions relating to the R4 zone and all the general provisions of this by-law which are not in conflict with the ones set out in section 500.1.2.

500.2 For the purposes of section 500,

CORNER LOT shall mean a lot situated at the intersection of two or more streets, or at the intersection of two parts of the same street, which parts have an interior angle of intersection of not more than 135 degrees.

EXTERIOR SIDE YARD shall mean a yard extending from the front yard to the rear lot line between the flankage lot line and the nearest main wall of any building or structure on the lot.

FRONT LOT LINE shall mean the line that divides a lot from the street, except that for a corner lot, the shorter lot line abutting a street shall be deemed to be the front lot line and the longer lot line abutting a street shall be deemed to be the flankage lot line.

INTERIOR LOT shall mean a lot other than a corner lot.

INTERIOR SIDE YARD shall mean a yard, other than a exterior side yard, extending from the front yard to the rear yard of a lot between a side lot line and the nearest main wall of any building or structure on the lot.

REAR LOT LINE shall mean the lot line opposite to and furthest from the front lot line.

REAR YARD shall mean, in the case of an interior lot, a yard extending across the full width of the lot between the rear lot line and the nearest main wall of any building or structure on the lot, or in the case of a corner lot, a yard extending from a side lot line to an exterior side yard, and between the rear lot line and the nearest main wall of any building or structure on the lot.

501.1 The lands designated R5 - SECTION 501 on Schedule A to this by-law:

501.1.1 shall only be used for the following purposes:

- (1) a one family detached dwelling, and
- (2) purposes accessory to the other permitted purposes.

501.1.2 shall be subject to the following requirements and restrictions:

(1) Minimum lot area

Interior lot	-	450 square metres
Corner lot	-	540 square metres

(2) Minimum lot frontage

Interior lot	-	15 metres
Corner lot	-	18 metres

(3) Minimum lot depth - 30 metres

(4) Minimum front yard depth - 6 metres

(5) Minimum interior side yard width

1 storey dwelling	-	1.2 metres
2 or more storey dwelling	-	1.5 metres

(6) Minimum exterior side yard width

(7) Minimum rear yard depth - 7.6 metres

(8) Maximum building height - 10 metres

- (9) Driveway location - no driveway on a corner lot shall be located closer than 6.0 metres to the intersection of street lines as projected
- (10) Garage location - the front of a garage on a corner lot shall not be closer than 6 metres to a street lot line
- (11) Minimum landscaped open space - 50% of the front yard of an interior lot, 60% of the front yard of a corner lot and 40% of the front yard where the side lot lines converge towards the front lot lines
- (12) Minimum number of parking spaces per dwelling unit - 2, one of which must be located in a garage
- (13) Accessory buildings
- (a) shall not be used for human habitation,
  - (b) shall not exceed 4.5 metres in height, in the case of a peaked roof,
  - (c) shall not exceed 3.5 metres in height, in the case of a flat roof,
  - (d) shall not be constructed in a front yard or an exterior side yard or within the minimum required side yard,
  - (e) shall not be less than 0.6 metres from any lot line;
  - (f) shall not be less than 6.0 metres from an exterior lot line, and
  - (g) shall not have a floor area in excess of 10 square metres.
- (14) a private uncovered swimming pool shall only be permitted in a rear yard or a side yard of a lot if it is not closer than 1.2 metres to any lot line or easement.

501.1.3 shall also be subject to the requirements and restrictions relating to the R5 zone and all the general provisions of this by-law which are not in conflict with the ones set out in section 500.1.2.

501.2 For the purposes of section 500,

CORNER LOT shall mean a lot situated at the intersection of two or more streets, or at the intersection of two parts of the same street, which parts have an interior angle of intersection of not more than 135 degrees.

EXTERIOR SIDE YARD shall mean a yard extending from the front yard to the rear lot line between the flankage lot line and the nearest main wall of any building or structure on the lot.

FRONT LOT LINE shall mean the line that divides a lot from the street, except that for a corner lot, the shorter lot line abutting a street shall be deemed to be the front lot line and the longer lot line abutting a street shall be deemed to be the flankage lot line.

INTERIOR LOT shall mean a lot other than a corner lot.

INTERIOR SIDE YARD shall mean a yard, other than a exterior side yard, extending from the front yard to the rear yard of a lot between a side lot line and the nearest main wall of any building or structure on the lot.

REAR LOT LINE shall mean the lot line opposite to and furthest from the front lot line.

REAR YARD shall mean, in the case of an interior lot, a yard extending across the full width of the lot between the rear lot line and the nearest main wall of any building or structure on the lot, or in the case of a corner lot, a yard extending from a side lot line to an exterior side yard, and between the rear lot line and the nearest main wall of any building or structure on the lot.

502.1 The lands designated R4 - SECTION 502 on Schedule A to this by-law:

502.1.1 shall only be used for the following purposes:

- (1) a one family detached dwelling, and



(2) purposes accessory to the other permitted purposes.

502.1.2 shall be subject to the following requirements and restrictions:

- (1) Minimum lot area - 540 square metres
- (2) Minimum lot frontage - 18 metres
- (3) Minimum lot depth - 30 metres
- (4) Minimum front yard depth - 6.0 metres
- (5) Minimum side yard width
  - 1 storey dwelling - 1.2 metres
  - 2 or more storeys dwelling - 1.5 metres
- (6) Minimum rear yard depth - 10 metres
- (7) Maximum building height - 10 metres
- (8) Driveway location - no driveway on a corner lot shall be located closer than 6.0 metres to the intersection of street lines as projected
- (9) Minimum landscaped open space - 50% of the front yard of an interior lot, 60% of the front yard of a corner lot and 40% of the front yard where the side lot lines converge towards the front lot lines
- (10) Minimum number of parking spaces per dwelling unit - 2, one of which must be located in a garage
- (11) Accessory buildings
  - (a) shall not be used for human habitation,
  - (b) shall not exceed 4.5 metres in height, in the case of a peaked roof,
  - (c) shall not exceed 3.5 metres in height, in the case of a flat roof,

- (d) shall not be constructed in a front yard or an exterior side yard or within the minimum required side yard,
- (e) shall not be less than 0.6 metres from any lot line;
- (f) shall not be less than 6.0 metres from an exterior lot line, and
- (g) shall not have a floor area in excess of 10 square metres.

(12) a private uncovered swimming pool shall only be permitted in a rear yard or a side yard of a lot if it is not closer than 1.2 metres to any lot line or easement.

502.1.3 shall also be subject to the requirements and restrictions relating to the R4 zone and all the general provisions of this by-law which are not in conflict with the ones set out in section 502.1.2.

502.2 For the purposes of section 502,

FRONT LOT LINE shall mean the line that divides a lot from the street, except that for a corner lot, the shorter lot line abutting a street shall be deemed to be the front lot line and the longer lot line abutting a street shall be deemed to be the flankage lot line.

REAR YARD shall mean, in the case of an interior lot, a yard extending across the full width of th lot between the rear lot line and the nearest main wall of any building or structure on the lot, or in the case of a corner lot, a yard extending from a side lot line to an exterior side yard, and between the rear lot line and the nearest main wall of any building or structure on the lot.

READ a FIRST, SECOND and THIRD TIME, and PASSED, in OPEN COUNCIL,

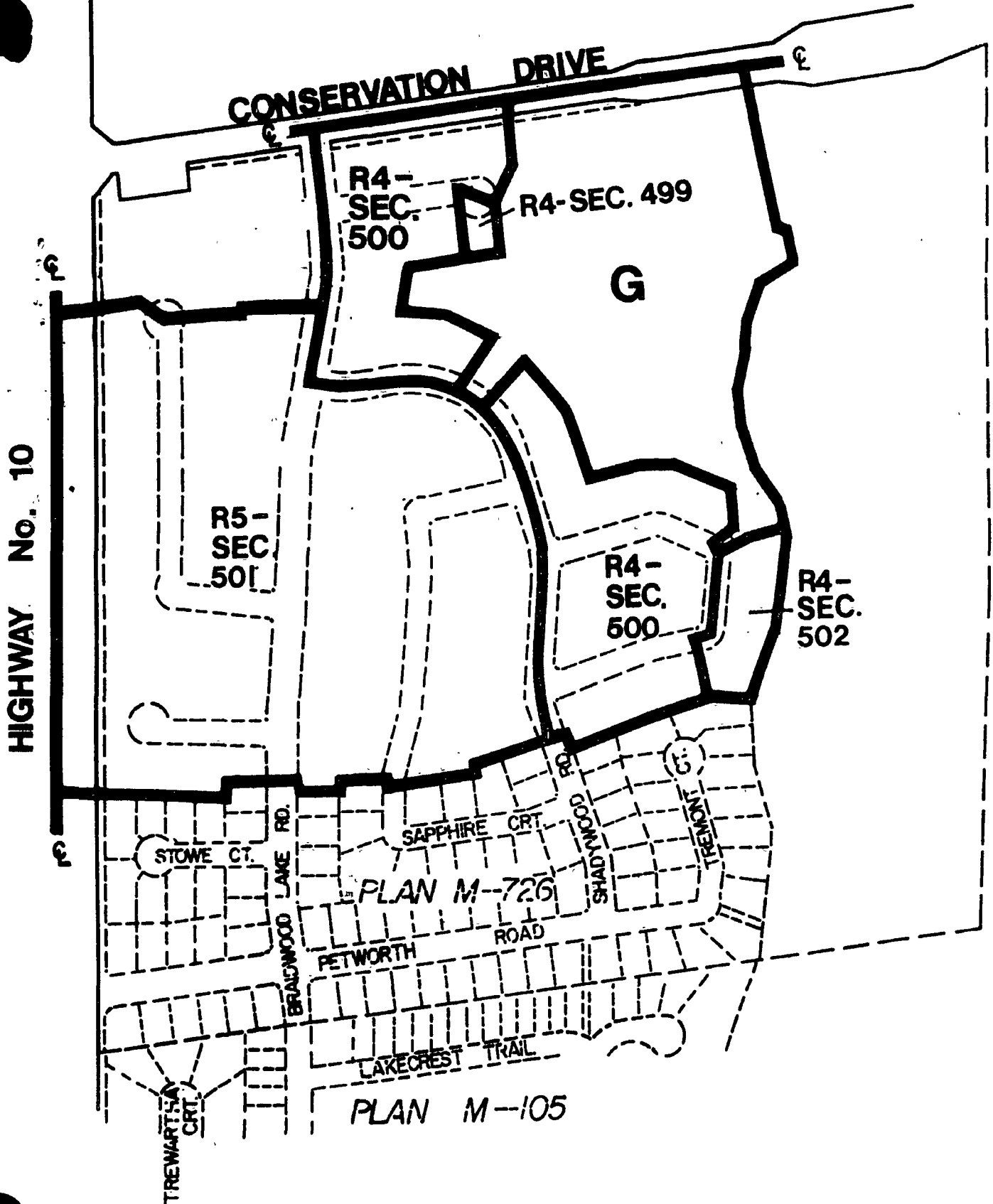
this 14th day of April, 1987.

APPROVED  
AS TO FORM  
LAW DEPT.  
BRAMPTON  
*[Signature]*  
DATE *[Signature]*

*[Signature]*  
KENNETH G. WHILLANS, MAYOR

*[Signature]*  
LEONARD J. MIKULICH - CLERK

PART LOT 15, CON. I E.H.S. (CHING.)



PART LOT 15, CON. I E.H.S. (CHING.)  
BY-LAW 861 SCHEDULE A

By-Law 83-87 Schedule A



1:5500

**CITY OF BRAMPTON**  
Planning and Development

Date: 87 04 09 Drawn by: K. L.  
File no. CIE15.4 Map no. 25-37K

IN THE MATTER OF the Planning Act,  
1983, section 34;

AND IN THE MATTER OF the City of  
Brampton By-law 83-87.

DECLARATION

I, LEONARD J. MIKULICH, of the City of Brampton, in the  
Region of Peel, DO SOLEMNLY DECLARE THAT:

1. I am the Clerk of The Corporation of the  
City of Brampton and as such have knowledge  
of the matters herein declared.
2. By-law 83-87 was passed by the Council of  
the Corporation of the City of Brampton at  
its meeting held on April 14th, 1987.
3. Written notice of By-law 83-87 as required  
by section 34 (17) of the Planning Act, 1983  
was given on April 29th, 1987, in the manner  
and in the form and to the persons and  
agencies prescribed by the Planning Act,  
1983.
4. No notice of appeal under section 34(18) of  
the Planning Act, 1983 has been filed with  
me to the date of this declaration.

DECLARED before me at the City of )  
Brampton in the Region of Peel )  
this 25th day of May, 1987 )

  
\_\_\_\_\_  
A Commissioner, etc.

