



THE CORPORATION OF THE CITY OF BRAMPTON

# BY-LAW

Number 86 - 2023

To Adopt Amendment Number OP 2006- 244 to the Official Plan of the City of  
Brampton Planning Area

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The Council of The Corporation of the City of Brampton, in accordance with the provisions of the Planning Act, R.S.O. 1990, c P. 13, hereby ENACTS as follows:

1. Amendment Number OP 2006- 244 to the Official Plan of the City of Brampton Planning Area is hereby adopted and made part of this by-law.

ENACTED and PASSED this 17<sup>th</sup> day of May, 2023.

Approved as to  
form.

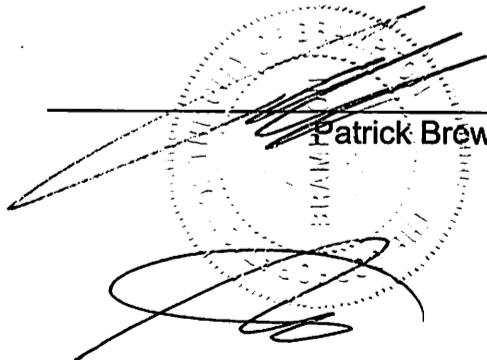
2023/05/12

SDSR


Approved as to  
content.

2023/05/11

AAP



Patrick Brown, Mayor



Peter Fay, City Clerk

AMENDMENT NUMBER OP 2006- 244

To the Official Plan of the  
City of Brampton Planning Area

1.0 Purpose

The purpose of this Amendment is to permit the development of an apartment building and three townhouse blocks including back-to-back stacked townhouses and stacked townhouses.

This amendment re-designates the subject lands from 'Low Density Residential' to 'High Density Residential' and 'Special Site Area 8' in the Brampton Flowertown Secondary Plan (Area 6) as identified on Schedule 'A'.

2.0 Location

The lands subject to this amendment are located on the north side of Church Street and the west side of Beech Street and legally described as Lots 5, 6, 7 and 8, Block D Registered Plan BR-26; Lot 5, Block 1 Registered Plan BR-37; and Part of Lots 4 and 5, Block 2 Registered Plan BR-37.

The lands are municipally known as 55, 59 and 61 Beech Street and 132, 136, 140 and 142 Church Street East.

3.0 Amendments and Policies Relative Thereto:

- 3.1 The document known as the Official Plan of the City of Brampton Planning Area is hereby amended as follows:

(1) By adding to the list of amendments pertaining to the Secondary Plan Area Number 6: Brampton Flowertown Secondary Plan as set out in Part II: Secondary Plans thereof, Amendment Number OP 2006- 244 .

- 3.2 The document known as Secondary Plan Area 6 – Brampton Flowertown Secondary Plan (Part Two: Secondary Plan, as amended, of the City of Brampton Official Plan) is hereby further amended as follows:

(1) By amending Schedule 6 of the Brampton Flowertown Secondary Plan to re-designate the lands from 'Low Density Residential' to 'High Density Residential' and 'Special Site Area 8' as shown in Schedule A of this amendment.

- (2) By adding to **Section 8, Special Site Areas**, a new sub-section as follows:

"8.8 Special Site Area 8

Notwithstanding Section 1.4.1, the following shall apply to lands designated High Density Residential within **Special Site Area 8**, located on the north side of Church Street and west side of Beech Street:

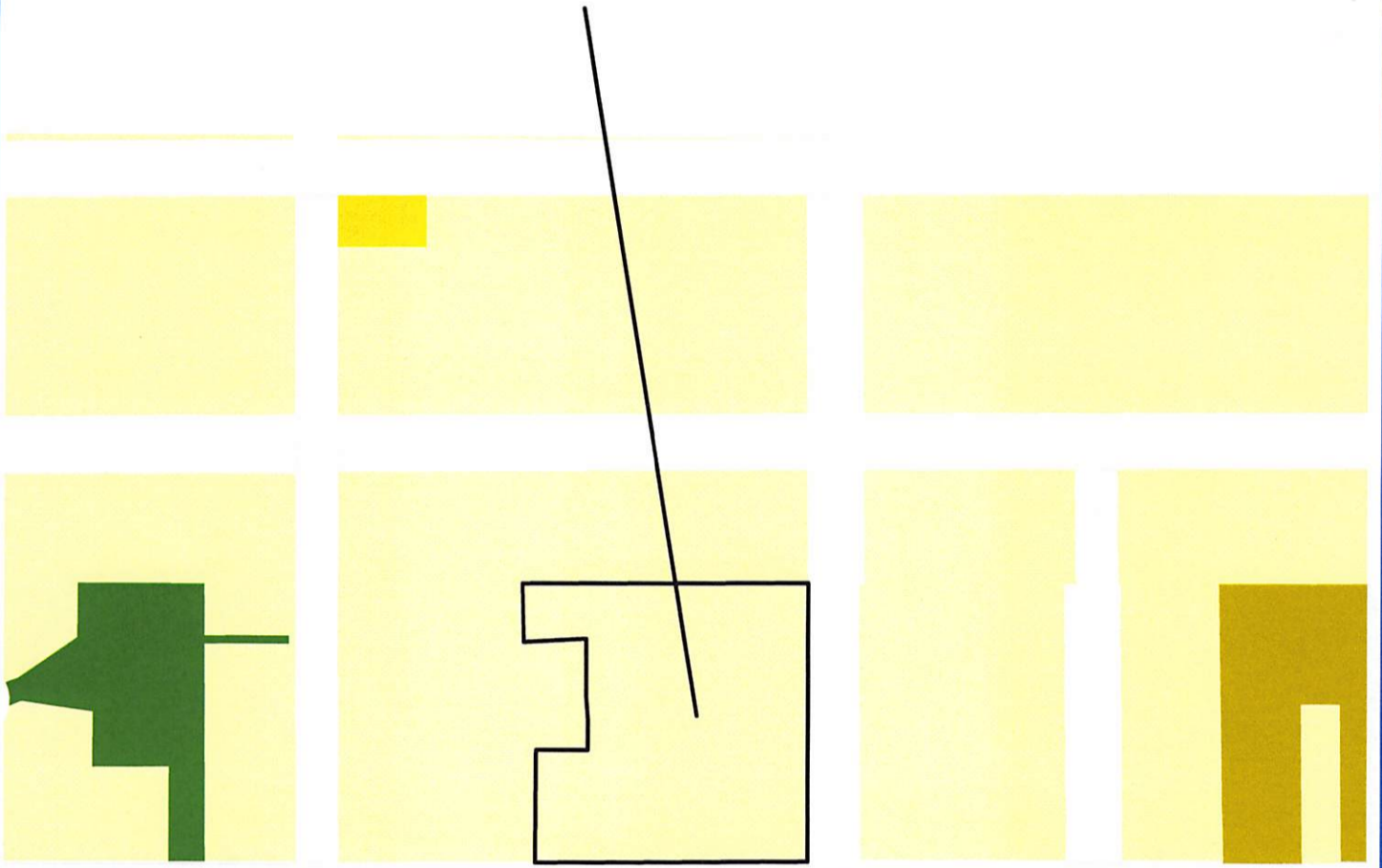
i) Maximum permitted density shall be 3.11 Floor Space Index.

ii) Maximum permitted height of apartment shall be 14 storeys.

iii) Maximum permitted height of stacked and back-to-back stacked townhouses shall be 4 storeys.

iv) A Heritage Listed Dwelling is to be relocated to 132 Church Street East."

**LANDS TO BE REDESIGNATED FROM "LOW DENSITY RESIDENTIAL" TO "HIGH DENSITY RESIDENTIAL" AND SPECIAL SITE AREA 8"**



EXTRACT FROM SCHEDULE SP6(A) OF THE DOCUMENT KNOWN AS THE BRAMPTON FLOWERTOWN SECONDARY PLAN

<b>COMMERCIAL</b>	<b>RESIDENTIAL</b>	<b>INSTITUTIONAL</b>	<b>OPEN SPACE</b>
NEIGHBOURHOOD RETAIL	LOW DENSITY RESIDENTIAL	ELEMENTARY SCHOOL	NATURAL HERITAGE SYSTEM
DISTRICT RETAIL	MEDIUM DENSITY RESIDENTIAL	MIDDLE SCHOOL	RECREATION OPEN SPACE
CONVENIENCE RETAIL	MEDIUM/HIGH DENSITY RESIDENTIAL	SECONDARY SCHOOL	CEMETERY
HIGHWAY COMMERCIAL	HIGH DENSITY RESIDENTIAL	GENERAL EMPLOYMENT 1	<b>ROADS</b>
SERVICE COMMERCIAL	RAILWAY	PLACE OF WORSHIP	COLLECTOR ROAD
HIGHWAY AND SERVICE COMMERCIAL	SPECIAL SITE AREA	INSTITUTIONAL	MINOR ARTERIAL ROAD
<b>UTILITY</b>	SPECIAL POLICY AREA	<b>EMPLOYMENT</b>	MAJOR ARTERIAL ROAD
UTILITY	SECONDARY PLAN BOUNDARY	GENERAL EMPLOYMENT 1	PROVINCIAL HIGHWAY

