



THE CORPORATION OF THE CITY OF BRAMPTON

BY-LAW

Number 89 - 2025

To accept and assume works in

Registered Plan 43M-2110

WHEREAS the Commissioner of Planning, Building and Growth Management has, directed that all works constructed and installed in accordance with the subdivision agreement for Registered Plan 43M-2110 be accepted and assumed;

AND WHEREAS Council has authorized the City Treasurer to release all the securities held by the City; save and except for the amount of \$24,000 which shall be held by the City until such time as the Director, Environment & Development Engineering is satisfied that the warranty period in respect of landscape works has expired; and

AND WHEREAS it is deemed expedient to accept and assume the street, and associated works, as shown on Registered Plan 43M-2110 as part of the public highway system.

NOW THEREFORE the Council of The Corporation of the City of Brampton hereby ENACTS as follows:

1. All of the works constructed and installed in accordance with the subdivision agreement for Registered Plan 43M-2110 are hereby accepted and assumed.
2. The lands described in Schedule A to this by-law are hereby accepted and assumed as part of the public highway system of the City of Brampton.

ENACTED and PASSED THIS 14th day of May 2025.

Approved as to
form.

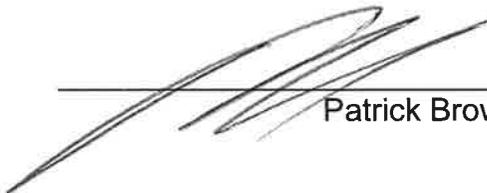
2025/04/01

S. Ross

Approved as to
content.

2025/04/01

L. Totino


Patrick Brown, Mayor


Genevieve Scharback, City Clerk

PLAN 43M-2110

I CERTIFY THAT THIS PLAN IS REGISTERED IN THE LAND REGISTRY OFFICE FOR THE LAND TITLES DIVISION OF PEEL (No. 43) AT 11:07... O'CLOCK ON THE 25 DAY OF June, 2021 AND ENTERED IN THE PARCEL REGISTER FOR PROPERTY IDENTIFIER... AND THE REQUIRED CONSENTS ARE REGISTERED AS PLAN DOCUMENT No. PR 3858962.

NOTES

BEARINGS ARE UTM GRID, DERIVED FROM SPECIFIED CONTROL POINTS (SCP) 042050277 AND 042050278 UTM ZONE 17, NAD83 (ORIGINAL) (2011). DISTANCES ARE GROUND AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.999722. FOR BEARING COMPARISONS, A ROTATION OF 102507 COUNTER-CLOCKWISE WAS APPLIED TO BEARINGS ON P2.

INTEGRATION DATA

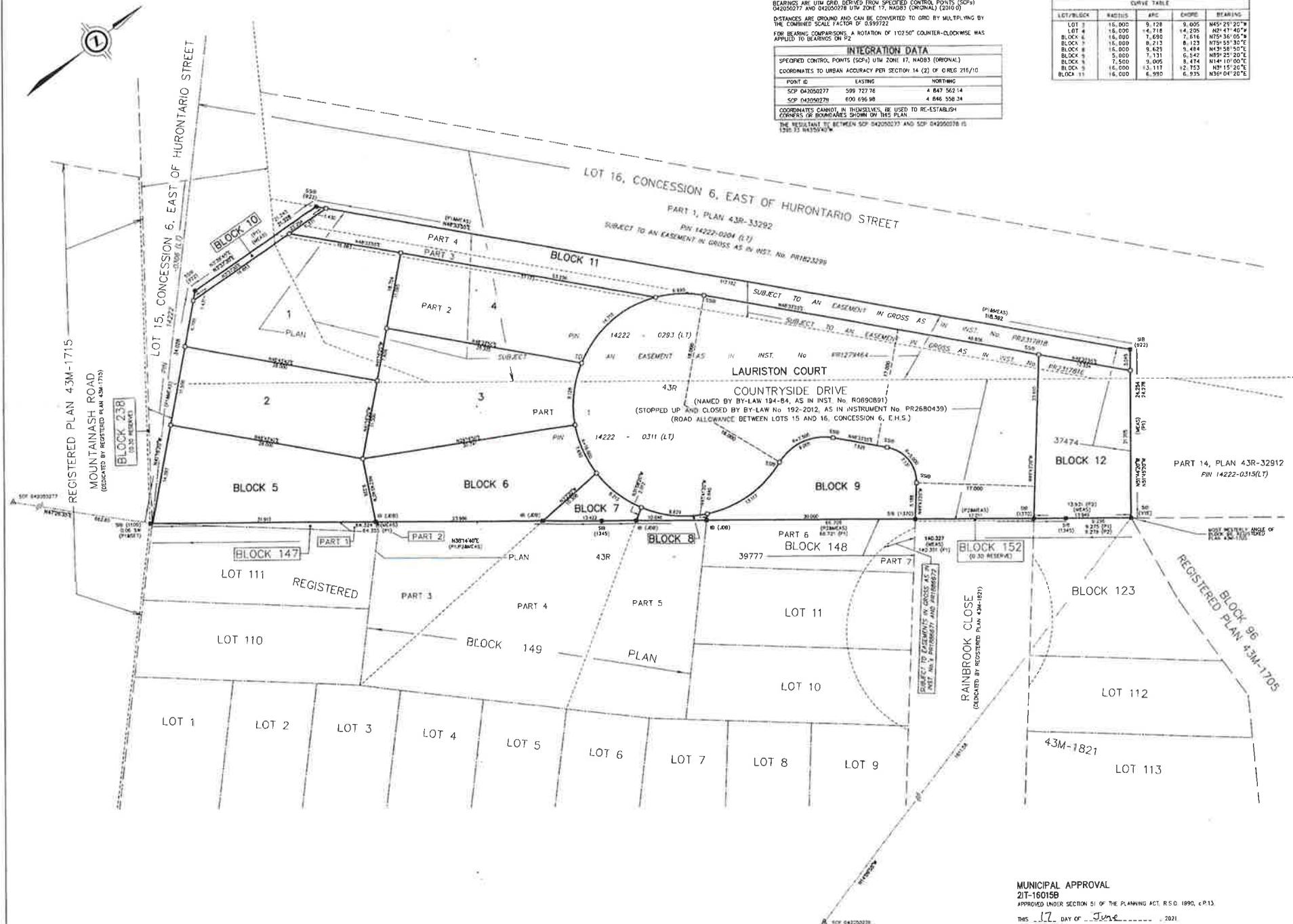
SPECIFIED CONTROL POINTS (SCP) UTM ZONE 17, NAD83 (ORIGINAL)

POINT ID	EASTING	NORTHING
SCP 042050277	599 727.76	4 847 562.14
SCP 042050278	600 696.98	4 846 558.34

COORDINATES CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.

THE DISTANCE BETWEEN SCP 042050277 AND SCP 042050278 IS 120.33 8435040W.

LOT/BLOCK	RADIUS	ARC	CHORD	BEARING
LOT 1	16,000	9.128	9.005	N45°29'20"W
LOT 4	16,000	4.718	4.626	N24°41'40"W
BLOCK 4	16,000	7.690	7.616	N75°36'05"W
BLOCK 5	16,000	9.213	9.123	N75°55'30"E
BLOCK 8	16,000	9.629	9.484	N49°58'50"E
BLOCK 9	5,000	7.131	6.542	N89°25'20"E
BLOCK 9	7,500	3.005	3.474	N14°10'00"E
BLOCK 9	16,000	13.117	12.753	N9°15'20"E
BLOCK 11	16,000	6.999	6.935	N36°04'20"E



THIS PLAN COMPRISES ALL OF PINS 14221-0293 (L7) AND 14222-0311 (L1) ALL OF LOT 4 AND BLOCK 11, PART OF LOT 1 AND 3, PART OF BLOCKS 10 AND 11, AND PART OF LAURISTON COURT ARE SUBJECT TO AN EASEMENT AS IN INST. NO. PR1234567.

ALL OF BLOCK 11, PART OF LOT 1 AND 3, PART OF BLOCKS 10 AND 12, AND PART OF LAURISTON COURT ARE SUBJECT TO AN EASEMENT AS IN INST. NO. PR2345678.

PART OF BLOCKS 10 AND 11 ARE SUBJECT TO AN EASEMENT IN GROSS AS IN INST. NO. PR2317816.

PLAN OF SUBDIVISION OF PART OF LOT 16 AND PART OF THE ROAD ALLOWANCE BETWEEN LOTS 15 AND 16 (STOPPED UP AND CLOSED BY BY-LAW No. 192-2012, AS IN INSTRUMENT No. PR2680439) CONCESSION 6 EAST OF HURONTARIO STREET (GEOGRAPHIC TOWNSHIP OF CHINGUACOUS) CITY OF BRAMPTON REGIONAL MUNICIPALITY OF PEEL SCALE 1 : 250

J.D. BARNES LIMITED

METRIC DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

OWNER'S CERTIFICATE - PLAN OF SUBDIVISION

THIS IS TO CERTIFY THAT:

- LOTS 1 TO 4, BOTH INCLUSIVE, BLOCKS 5 TO 13, BOTH INCLUSIVE AND THE STREET NAME, LAURISTON COURT HAVE BEEN Laid OUT IN ACCORDANCE WITH OUR RESTRICTIONS.
- THE STREET IS HEREBY DEDICATED TO THE CORPORATION OF THE CITY OF BRAMPTON AS PUBLIC HIGHWAY.

DATED THIS 25th DAY OF June, 2021

BROOKVALEY DEVELOPMENTS BRAMPTON INC.

WICK CORTELLUCCI, A.S.O.

I HAVE THE AUTHORITY TO BIND THE CORPORATION

LEGEND

- ▲ DENOTES SPECIFIED CONTROL POINT (SCP)
- DENOTES SURVEY MONUMENT FOUND
- DENOTES SURVEY MONUMENT SET
- SB DENOTES STAINLESS IRON BAR
- SBP DENOTES SHORT STANDARD IRON BAR
- SB DENOTES IRON BAR
- WB DENOTES WIRE BAR
- WT DENOTES WIRE TIE
- P1 DENOTES PLAN 43M-37474
- P2 DENOTES REGISTERED PLAN 43M-1821
- MEAS DENOTES MEASURED
- 029 DENOTES J.D. BARNES LIMITED
- 1109 DENOTES SCHAEFFER DZALDOV BENNETT LTD.
- 1246 DENOTES G. PAPA, O.L.S.
- 1370 DENOTES G. PAPA, O.L.S.
- 1345 DENOTES YOUNG & YOUNG SURVEYING INC.
- NYE DENOTES NOT DETERMINABLE

ALL SET SBP MONUMENTS WERE LAYED DUE TO LACK OF OVERBURDEN ABOVE MONUMENT OF UNDERGROUND UTILITIES IN ACCORDANCE WITH SECTION 11 (4) OF OREG. 525/PA.

SURVEY MONUMENTS PLANTED ARE IRON BARS UNLESS OTHERWISE NOTED

DISTANCES SHOWN ON CURVED LINES ARE ARC MEASUREMENTS

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
- THE SURVEY WAS COMPLETED ON NOVEMBER 24th, 2020

FEBRUARY 2nd, 2021
DATE

THOMAS J. SADE
ONTOLEO LAND SURVEYOR

MUNICIPAL APPROVAL
21F-180159
APPROVED UNDER SECTION 51 OF THE PLANNING ACT, R.S.O. 1990, c.P13

THIS 17th DAY OF June, 2021

ALAN A. REYNOLDS, M.C.I.P., R.P.
Acting CHAIRMAN
PLANNING, BUILDING AND ECONOMIC DEVELOPMENT SERVICES DEPARTMENT
CORPORATION OF THE CITY OF BRAMPTON

J.D. BARNES SURVEYING
LAND INFORMATION SPECIALISTS
401 WILHELMINA WAY, SUITE A, MILTON, ON L7T 3C1
T: (905) 875-8955 F: (905) 875-8916 www.jdbarnes.com

SKETCH BY: AP/JL CHECKED BY: REFERENCE NO: 20-30-514-00-A
FILE: C:\US\30-514\00-514\00-514\00-514\00-514.dwg DATED: FEBRUARY 2nd 2021

SCHEDULE A TO BY-LAW NO. 89

Registered Plan 43M-2110

Lauriston Court

City of Brampton
Regional Municipality of Peel