



THE CORPORATION OF THE CITY OF BRAMPTON

BY-LAW

Number 93-79

A by-law to amend By-law 5500, as amended, being the zoning by-law for that part of the City of Brampton which was formerly in the Town of Mississauga

The Council of the Corporation of the City of Brampton
ENACTS AS FOLLOWS:

1. Map 47 of Schedule B attached to By-law 5500 is hereby amended by changing thereon the zoning designation of the lands shown outlined on Schedule A attached to this by-law from AGRICULTURAL (A)

to AC - SECTION 765 (AC - SEC. 765).

2. Schedule B to this by-law is attached to and forms part of By-law 5500.
3. By-law 5500 is hereby amended by adding thereto the following section:

"Part of Lot 15, Concession 1, W.H.S.

765.1 The land designated as AC - SEC. 765 on Schedule B attached hereto:

765.1.1 shall only be used for the following purposes:

- (a) a service station, or
- (b) uses accessory to a service station.

765.1.2 shall be subject to the following requirements and restrictions:

- (a) the minimum front, rear and side yards shall be as shown on SECTION 765 - SITE PLAN.
- (b) buildings may only be constructed within the building area shown on SECTION 765 - SITE PLAN.

- (c) no building may have more than one storey.
- (d) the maximum gross floor area of all buildings shall not exceed 170 square metres (1830 square feet).
- (e) entrance and exit ramps shall be located as shown on SECTION 765 - SITE PLAN.
- (f) entrance and exit ramps shall be a minimum of 8 metres (26 feet) in width measured perpendicular to the centre line of the ramp.
- (g) the minimum distance between ramps shall be 8 metres (26 feet).
- (h) the interior angle between the street line and the centre line of each ramp shall be between 60 and 90 degrees.
- (i) a minimum number of off-street parking spaces shall be provided for the employees, as follows:
 - (1) one parking space for every two fueling hoses, and
 - (2) two parking spaces for every service bay.
- (j) the minimum size of a parking space shall be 3 metres (9.8 feet) by 6 metres (19.7 feet).
- (k) all parking spaces shall be located as shown on SECTION 765 - SITE PLAN and shall have direct and unobstructed access to and from a public street by a driveway or ramp.
- (l) landscaped open space shall be provided and maintained as shown on SECTION 765 - SITE PLAN.
- (m) all areas of the site not occupied by buildings, landscaped open space or pump islands shall be paved.

765.2 For the purposes of sections 765,
gross floor area shall mean the aggregate of the area of all floors in a building, whether at, above or below established grade, measured between the exterior walls

of the building.

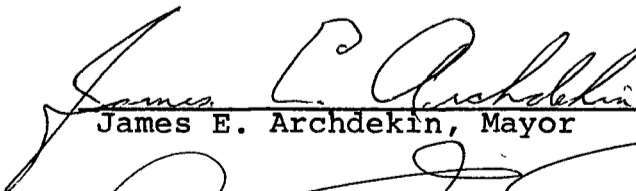
landscaped open space shall mean an unoccupied area of land open to the sky which is used for the growth, maintenance and conservation of grass, flowers, trees and shrubs and other vegetation and landscaping, and may include a surface walk, patio, screening, or similar visual amenities, but shall exclude any driveway, ramp, car parking or loading area, curb, retaining wall or any covered space beneath or within any building or structure.

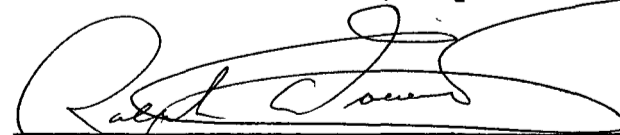
parking space shall mean an area accessible from a street or a lane for the parking or temporary storage of one motor vehicle, but shall not include any part of a driveway or aisle.

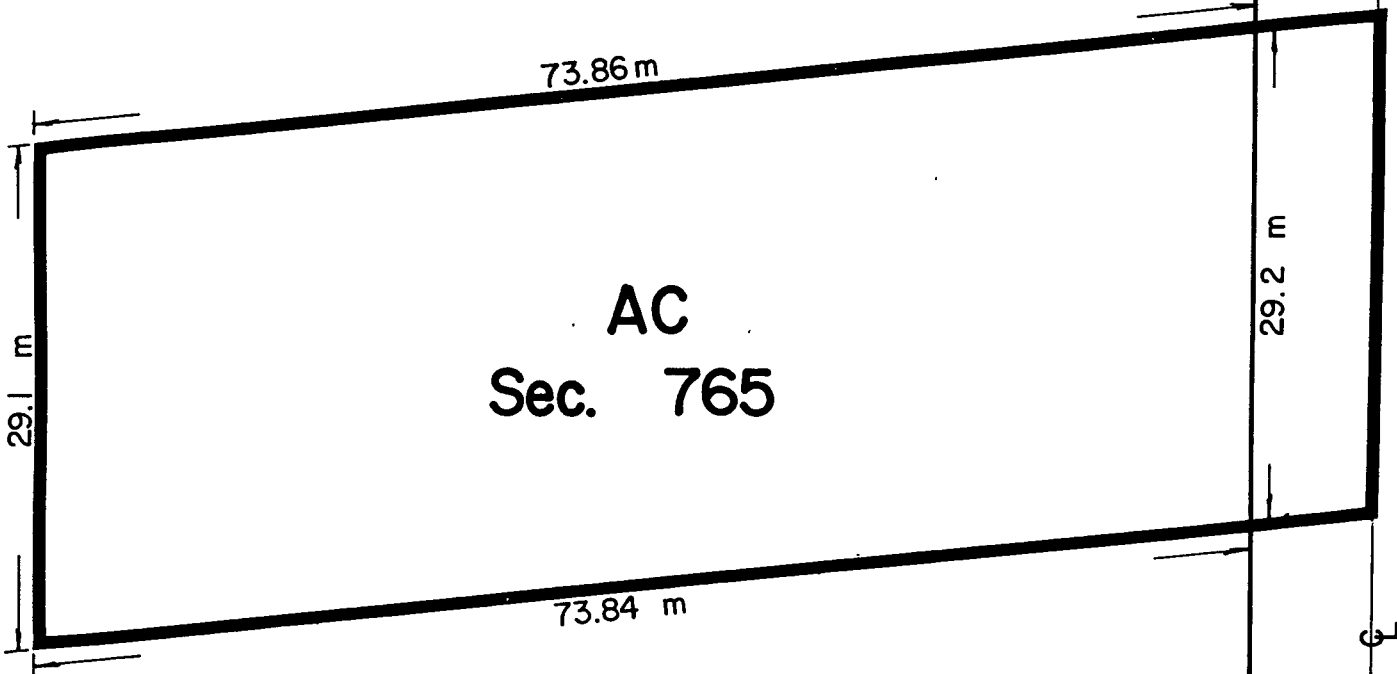
service station shall mean any building or place where gasoline, diesel fuel, oil, lubricants, anti-freeze, tires, tubes, light bulbs, spark plugs, batteries, and other minor parts and accessories for motor vehicles are kept for sale at retail, and where motor vehicles may be oiled, lubricated, washed and repaired, but shall not include a motor vehicle sales establishment or a motor vehicle washing establishment."

4. This by-law shall not come into force without the approval of the Ontario Municipal Board.

READ a FIRST, SECOND and THIRD TIME and Passed in Open Council
this 23rd day of April, 1979.

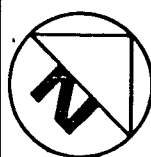

James E. Archdekin, Mayor


Ralph A. Everett, Acting Clerk



Part of Lot 15, Con. 1 W.H.S.

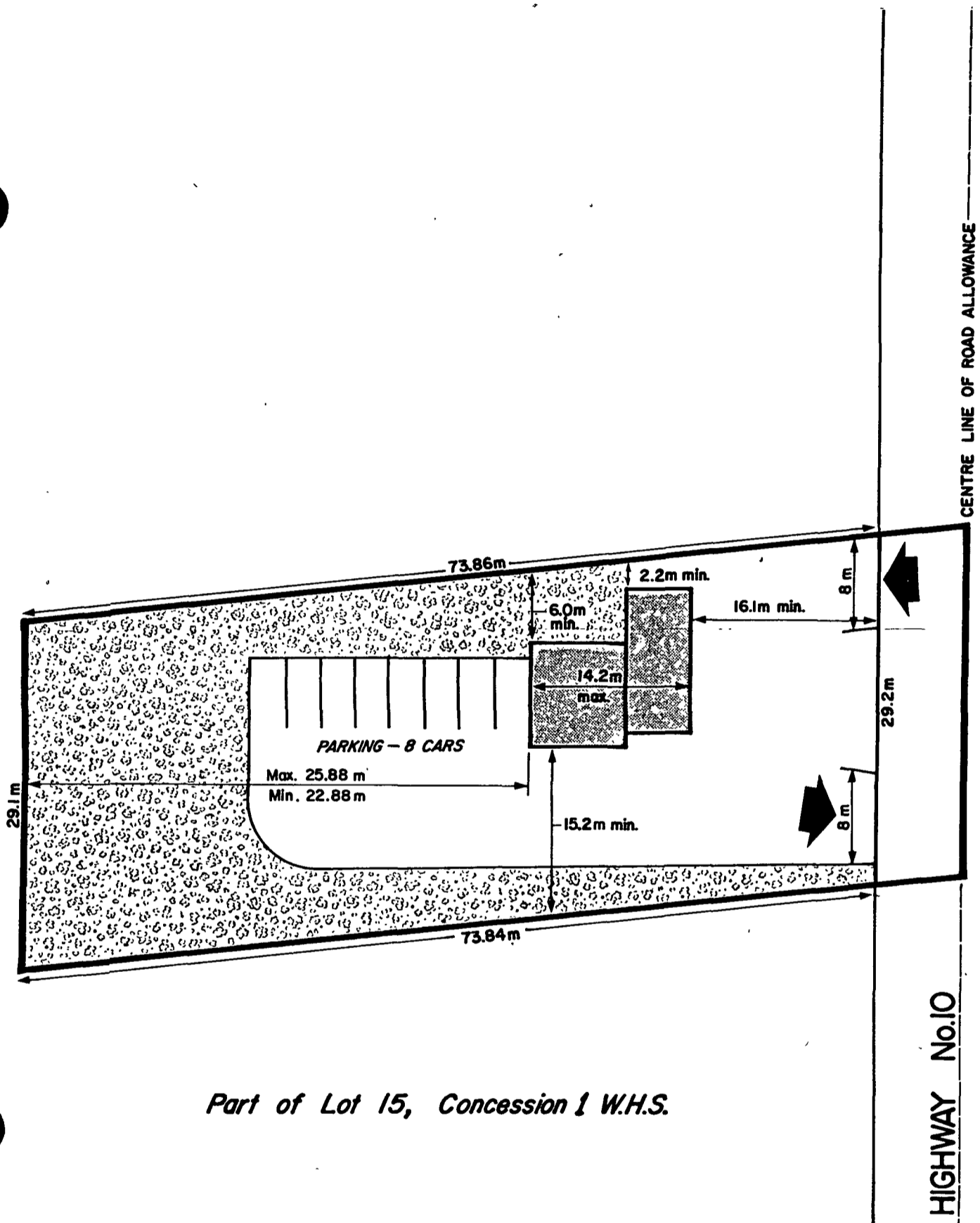
BY-LAW No. 93-79
SCHEDULE A





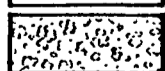
1:2400

CITY OF BRAMPTON
 Planning and Development

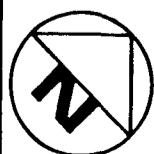
Date: 1979 04 19 Drawn by: ps
 File no. TIW15.3 Map no. 75-4G



Part of Lot 15, Concession 1 W.H.S.

-  BUILDING AREA
-  PAVED AREAS
-  LANDSCAPED AREAS

SECTION 765 · SITE PLAN
BY-LAW 5500
BY-LAW 93-79 SCHEDULE B



1:2400

CITY OF BRAMPTON
 Planning and Development

Date: 1979 04
 File no. TIWI5.3

Drawn by: DVC.
 Map no. 75-4F

PASSED April 23, 19 79



BY-LAW

93-79

No. _____

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R 792333

Ontario Municipal Board

IN THE MATTER OF Section 35 of
The Planning Act (R.S.O. 1970,
c. 349),

- and -

IN THE MATTER OF an application
by The Corporation of the City
of Brampton for approval of
its Restricted Area By-law 93-79

B E F O R E :

D.S. COLBOURNE
Vice-Chairman

- and -

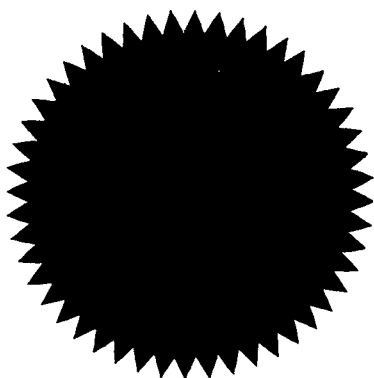
C.G. CHARRON, Q.C.
Member

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Thursday, the 13th day of
December, 1979

No objections to approval having been received
as required;

THE BOARD ORDERS that By-law 93-79 is
hereby approved.



SECRETARY

ENTERED	
O. G. NO.	879-8
Folio NO.	77
DEC 18 1979	
SECRETARY, ONTARIO MUNICIPAL BOARD	