

EXPLANATORY NOTE

THE PURPOSE OF BY-LAW 94 -93

The purpose of By-law 94 -93 is to amend comprehensive zoning by-law 151-88, as amended, pursuant to an application by Kalimba Land Development (File No. C1E13.10).

EFFECT OF THE BY-LAW

The effect of By-law 94 -93 is to permit the subject property to be subdivided for single family and semi-detached dwelling units. Three parcels of land are zoned for open space purposes, and the lands zoned F for Floodplain is to recognize the valleyland.

LOCATION OF LANDS AFFECTED

The location of the lands affected by By-law 94 -93 is part of Lot 13, Concession 1, East of Hurontario Street and is situated at the southeast corner of Sandalwood Parkway East and Hurontario Street.

Any further inquiries or questions should be directed to Mrs. Kathy Ash, City of Brampton, Planning and Development Department at 874-2060.



THE CORPORATION OF THE CITY OF BRAMPTON

BY-LAW

Number 94-93

To amend By-law 151-88 (part of Lot 13, Concession 1, E.H.S., in the geographic Township of Chinguacousy)

The Council of The Corporation of the City of Brampton ENACTS as follows:

1. By-law 151-88, as amended, is hereby further amended:
 - (1) by changing on Sheet 25-D of Schedule A thereto, the zoning designation of the lands shown outlined on Schedule A to this by-law from AGRICULTURAL (A), OPEN SPACE (OS) and RESIDENTIAL TOWNHOUSE A(1) - SECTION 175 (R3A(1) - SECTION 175) to RESIDENTIAL SINGLE FAMILY D-SECTION 673 (R1D-SECTION 673), RESIDENTIAL SINGLE FAMILY D-SECTION 674 (R1D-SECTION 674), RESIDENTIAL TWO FAMILY A-SECTION 675 (R2A-SECTION 675), OPEN SPACE (OS) AND FLOODPLAIN (F), being part of Lot 13, Concession 1, East of Hurontario Street, in the geographic Township of Chinguacousy.
 - (2) by adding thereto the following sections:

"673	The lands designated R1D-SECTION 673 on Sheet 25-D of Schedule A to this by-law:
673.1	shall only be used for the purposes permitted in a R1D zone by section 15.1.1.
673.2	shall be subject to the following requirements and restrictions: <ol style="list-style-type: none">(1) Minimum Corner Lot Area: 336 square metres;

- (2) Minimum Corner
Lot Width: 11.2 metres;
- (3) Minimum Rear
Yard Depth: 7.5 metres;
- (4) where a garage faces a front lot line or a side lot line, the minimum setback to the front of the garage shall be 6.0 metres;
- (5) for an interior lot where a portion of a garage is 3.0 metres, or closer, to the front lot line than the front wall of the dwelling unit itself, the inside width of the garage shall not exceed 40 percent of the lot width, except a storage area with a width not exceeding 1.2 metres may be added to the rear of the garage provided that such a storage area shall have a minimum distance of 9.0 metres from the front lot line; and,
- (6) the minimum distance measured along a lot line between a driveway and the actual or projected point of intersection of two streets shall be 5.5 metres.

673.3 shall also be subject to the requirements and restrictions relating to the R1D zone and all the general provisions of this by-law which are not in conflict with the ones set out in section 673.2.

674 The lands designated R1D - SECTION 674 on Sheet 25-D of Schedule A to this by-law:

674.1 shall only be used for the purposes permitted in a R1D zone by section 15.1.1.

674.2 shall be subject to the following requirements and restrictions:

- (1) Minimum Rear Yard Depth: 7.5 metres;

- (2) where an interior side yard abuts land zoned Floodplain, the minimum interior side yard width shall be 1.2 metres;
- (3) where a garage faces a front lot line or a side lot line, the minimum setback to the front of the garage shall be 6.0 metres;
- (4) for an interior lot where a portion of a garage is 3.0 metres, or closer, to the front lot line than the front wall of the dwelling unit itself, the inside width of the garage shall not exceed 40 percent of the lot width except a storage area with a width not exceeding 1.2 metres may be added to the rear of the garage provided that such a storage area shall have a minimum distance of 9.0 metres from the front lot line; and,
- (5) the maximum gross floor area per dwelling unit shall not exceed 139.35 square metres.

674.3 shall also be subject to the requirements and restrictions relating to the R1D zone and all the general provisions of this by-law which are not in conflict with the ones set out in section 674.2.

675 The lands designated R2A - SECTION 675 on Sheet 25-D of Schedule A to this by-law:

675.1 shall only be used for the following purposes:

- (1) a semi-detached dwelling;
- (2) an auxiliary group home, subject to the requirements and restrictions set out in section 10.15.; and,
- (3) purposes accessory to the other permitted purposes.

675.2 shall be subject to the following requirements and restrictions:

(1) Minimum Lot Area:

Interior Lot: 444 square metres per lot
and 222 square metres per
dwelling unit;

Corner Lot: 498 square metres per lot
and 276 square metres per
dwelling unit closest to the
flankage lot line;

(2) Minimum Lot Width:

Interior Lot: 14.8 metres and 7.4 metres
per dwelling unit;

Corner Lot: 16.6 metres and 9.2 metres
for the dwelling unit closest to
the flankage lot line;

(3) Minimum Rear Yard Depth: 7.5 metres;

(4) Minimum Interior Side Yard Width:

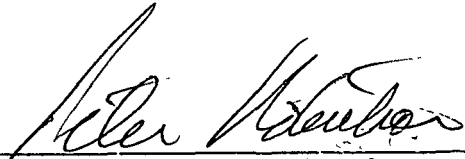
1.2 metres, except that where the common
wall of semi-detached dwelling units
coincides with a side lot line, the side yard
may be zero metres;

(5) where a garage faces a front lot line or a
side lot line, the minimum setback to the
front of the garage shall be 6.0 metres;
and,

(6) for an interior lot where a portion of a
garage is 3.0 metres or closer to the front
lot line than the front wall of the dwelling
unit itself, the inside width of the garage
shall not exceed 50 percent of the lot
width.

675.3 shall also be subject to the requirements and restrictions relating to the R2A zone and all the general provisions of this by-law which are not in conflict with the ones set out in section 675.2."

READ a FIRST, SECOND AND THIRD TIME, and PASSED, in OPEN COUNCIL, this 26th day of May, 1993

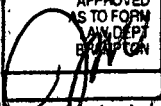


PETER ROBERTSON - MAYOR

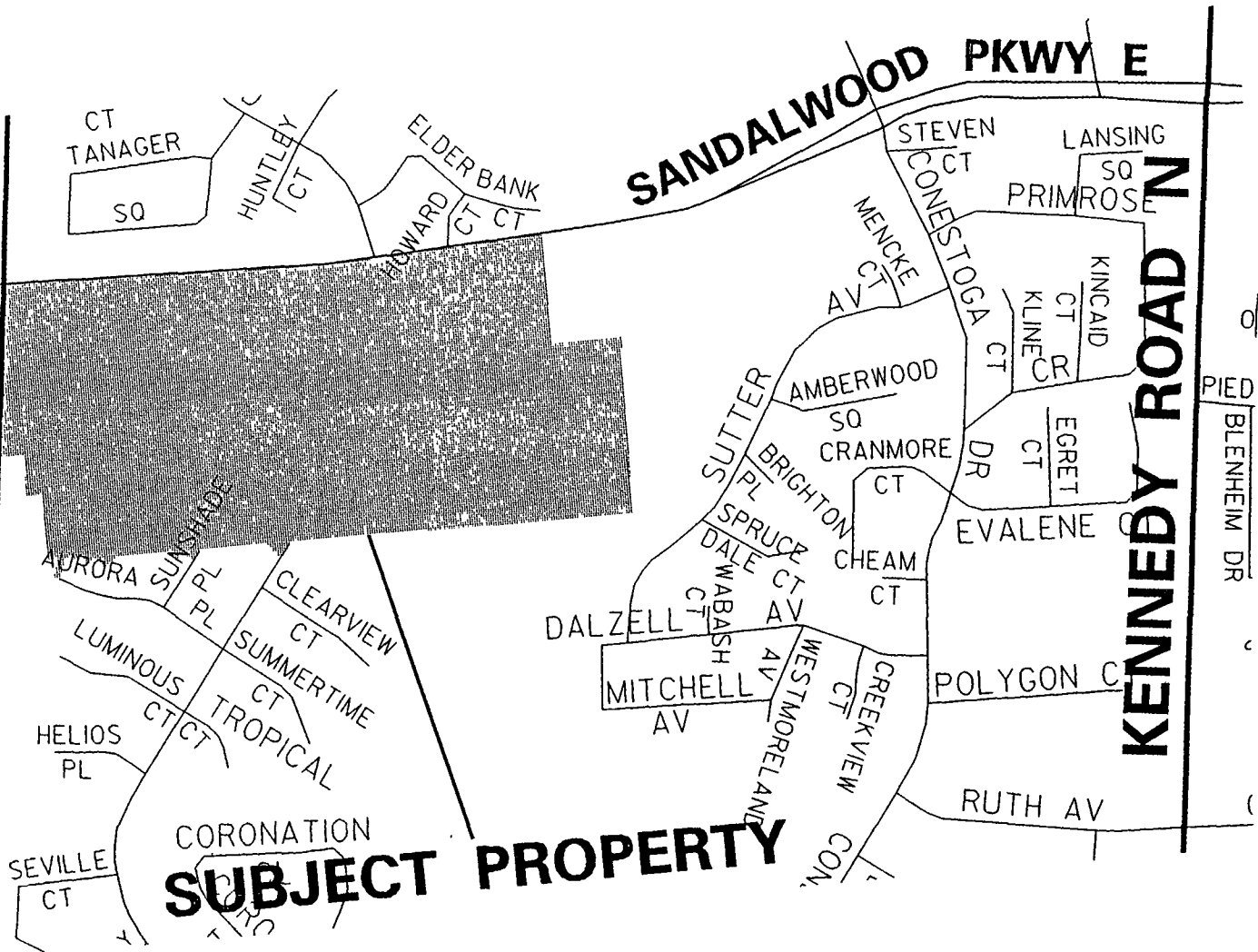


LEONARD J. MIKULICH - CITY CLERK

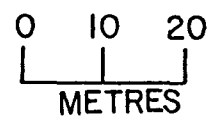
09/93

APPROVED AS TO FORM AND DEPT BUDGET

DATE 5/25/93

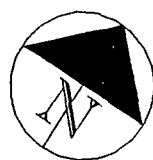
HIGHWAY No. 10



SUBJECT PROPERTY



Key Map By-Law 94-93



CITY OF BRAMPTON
Planning and Development

Date: 1992 12 16

Drawn by: CJK

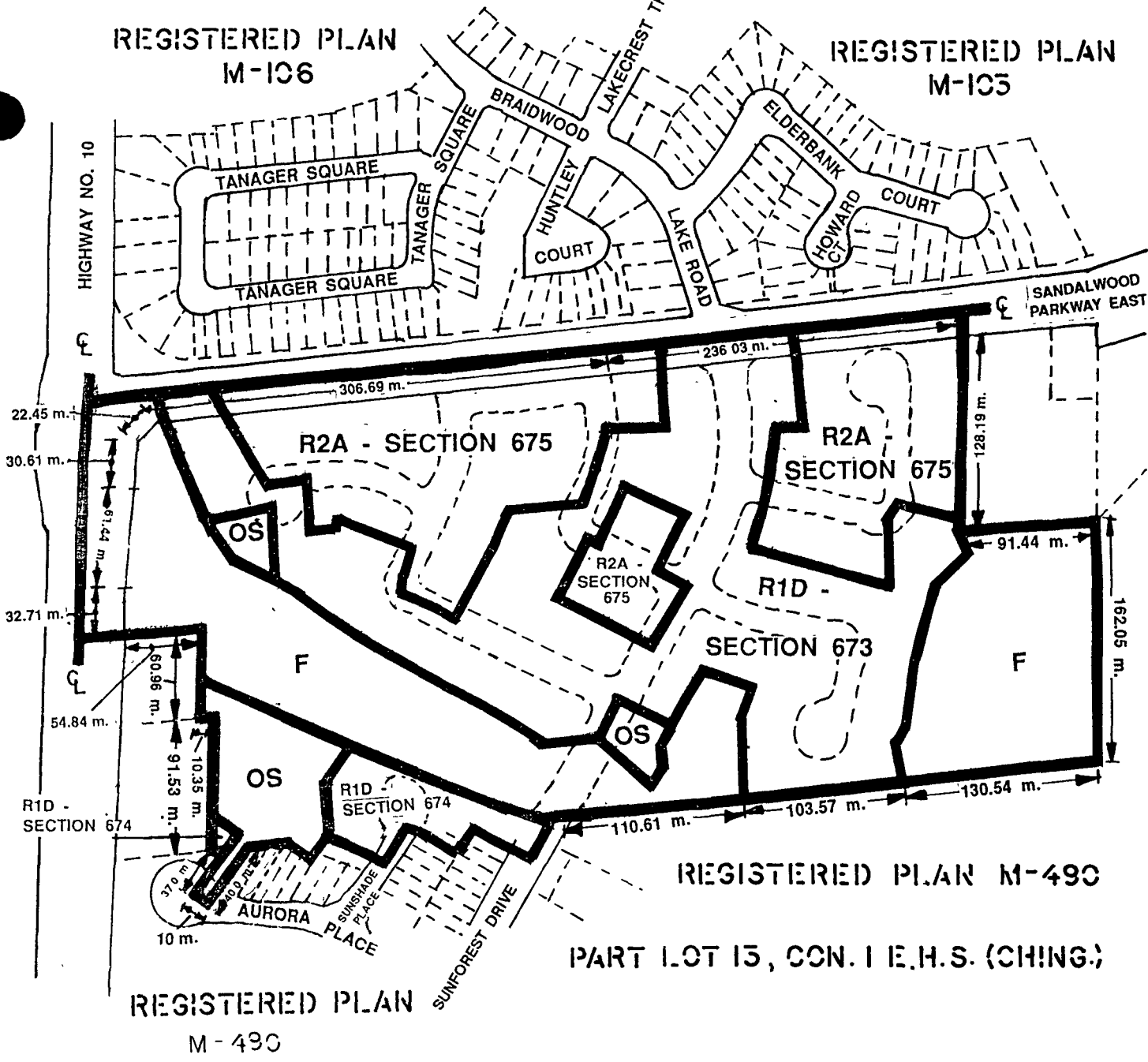
File no. C1E13.10

Map no 25-61D

REGISTERED PLAN
M-105

REGISTERED PLAN
M-106

REGISTERED PLAN
M-105



PART LOT 13, CON. I, E.H.S. (CHING.)
BY-LAW 151-88 SCHEDULE A



CITY OF BRAMPTON
Planning and Development

By-law 94-93 Schedule A

Date: 1993 04 27 Drawn by: K.M.H.
File no. CIE13.10 Map no. 25-61F

IN THE MATTER OF the Planning Act,
R.S.O. 1990, as amended, section 34;

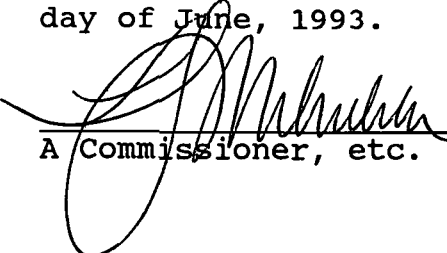
AND IN THE MATTER OF the City of
Brampton By-law 94-93 being a by-law
to amend comprehensive zoning
By-law 151-88, as amended, pursuant
an application by Heart Lake United
Church (File: C1E13.10

DECLARATION

I, KATHRYN ZAMMIT, of the Village of Erin, in the County of
Wellington, DO SOLEMNLY DECLARE THAT:

1. I am the Deputy Clerk of The Corporation of the
City of Brampton and as such have knowledge of the
matters herein declared.
2. By-law 94-93 was passed by the Council of the
Corporation of the City of Brampton at its meeting
held on the 26th day of May, 1993.
3. Written notice of By-law 94-93 as required by
section 34(18) of the Planning Act, R.S.O. 1990 as
amended, was given on the 4th day of June, 1993, in
the manner and in the form and to the persons and
agencies prescribed by the Planning Act, R.S.O.
1990 as amended.
4. No notice of appeal under section 34(19) of the
Planning Act, R.S.O. 1990 as amended, has been
filed on or before the last day for appeal.

DECLARED before me at the)
City of Brampton in the)
Region of Peel this 25th)
day of June, 1993.)


A Commissioner, etc.