



THE CORPORATION OF THE CITY OF BRAMPTON

BY-LAW

Number 1192-87

To amend By-law 200-82,
as amended, (part of Lot
8, Concession 1, W.H.S.,
in the geographic
Township of Chinguacousy)

The council of The Corporation of the City of Brampton ENACTS as follows:

1. By-law 200-82, as amended, is hereby further amended by:

(1) by changing, on Sheet 6 of Schedule A thereto, the zoning designation of the land shown outlined on Schedule A to this by-law from SERVICE COMMERCIAL - SECTION 240 (SC - SECTION 240) to SERVICE COMMERCIAL - SECTION 285 (SC - SECTION 285), such lands being part of Lot 8, Concession 1, W.H.S., in the geographic Township of Chinguacousy;

(2) by adding thereto, as SCHEDULE C - SECTION 285, Schedule B to this by-law;

(3) by adding to section 3.2 thereof, as a plan to be included in Schedule C, the following:

"Schedule C - Section 285"

(4) by adding thereto, the following section:

"285.1 The lands designated SC - Section 285 on Sheet 6 of Schedule A to this by-law:

285.1.1 shall only be used for the following purposes:

- (1) a retail establishment having no outside storage;
- (2) a service shop;
- (3) a personal service shop;

- (4) a bank, trust company, finance company;
- (5) an office;
- (6) a dry cleaning and laundry distribution station;
- (7) a laundromat;
- (8) a parking lot;
- (9) a dining room restaurant, a take-out restaurant, a fast food restaurant, a standard restaurant;
- (10) a printing or copying establishment;
- (11) a garden centre sales establishment;
- (12) a community club;
- (13) a health centre;
- (14) a custom workshop, and
- (15) purposes accessory to the other permitted purposes.

285.1.2 shall be subject to the following requirements and restrictions:

- (1) the minimum front yard depth, side yard width and rear yard depth shall be as shown on SCHEDULE C - SECTION 285;
- (2) minimum lot width shall be 83.8 metres;
- (3) all buildings and structures shall be located within the area shown as BUILDING AREA on SCHEDULE C - SECTION 285;
- (4) the maximum gross floor area shall not exceed 3,706 square metres;
- (5) the maximum gross floor area of the first floor shall not exceed 1,966 square metres;
- (6) all real estate offices shall be located on the first floor;

- (7) the maximum gross floor area of the second floor shall not exceed 1,740 square metres;
- (8) a minimum of 1,668 square metres of gross commercial floor area shall be used for office purposes, excluding real estate offices;
- (9) the total gross commercial floor area for all offices for health care practitioners shall not exceed 84 square metres;
- (10) the maximum building height shall not exceed two storeys;
- (11) all garbage and refuse storage containers for a dining room restaurant, a take out restaurant, a standard restaurant and a fast food restaurant shall be located within a climate controlled area within the building;
- (12) all garbage and refuse storage containers shall be located within the building;
- (13) a drive-in restaurant shall not be permitted;
- (14) the total gross commercial floor area for all fast food restaurants shall not exceed 150 square metres;
- (15) the maximum total gross commercial floor area for a dining room restaurant, a take out restaurant, and a standard restaurant shall not exceed 250 square metres.
- (16) no outside storage shall be permitted;
- (17) landscaped open space shall be provided and maintained in the locations shown as Landscaped Open Space on SCHEDULE C - SECTION 285 to this by-law, and
- (18) two driveways shall be provided in the locations shown on SCHEDULE C - SECTION 285 to this by-law.

285.1.3 shall also be subject to the requirements and restrictions relating to the SC zone, and all the

general provisions of this by-law, which are not in conflict with the ones set out in section 285.1.2.

285.2 For the purposes of Section 285,


GROSS FLOOR AREA shall mean the aggregate of the areas of each storey, at, above or below established grade, measured from the exterior of the outside walls."

READ a FIRST, SECOND and THIRD TIME, and PASSED, in OPEN COUNCIL,

this 17th day of August 1987.


KENNETH G. WHILLANS - MAYOR

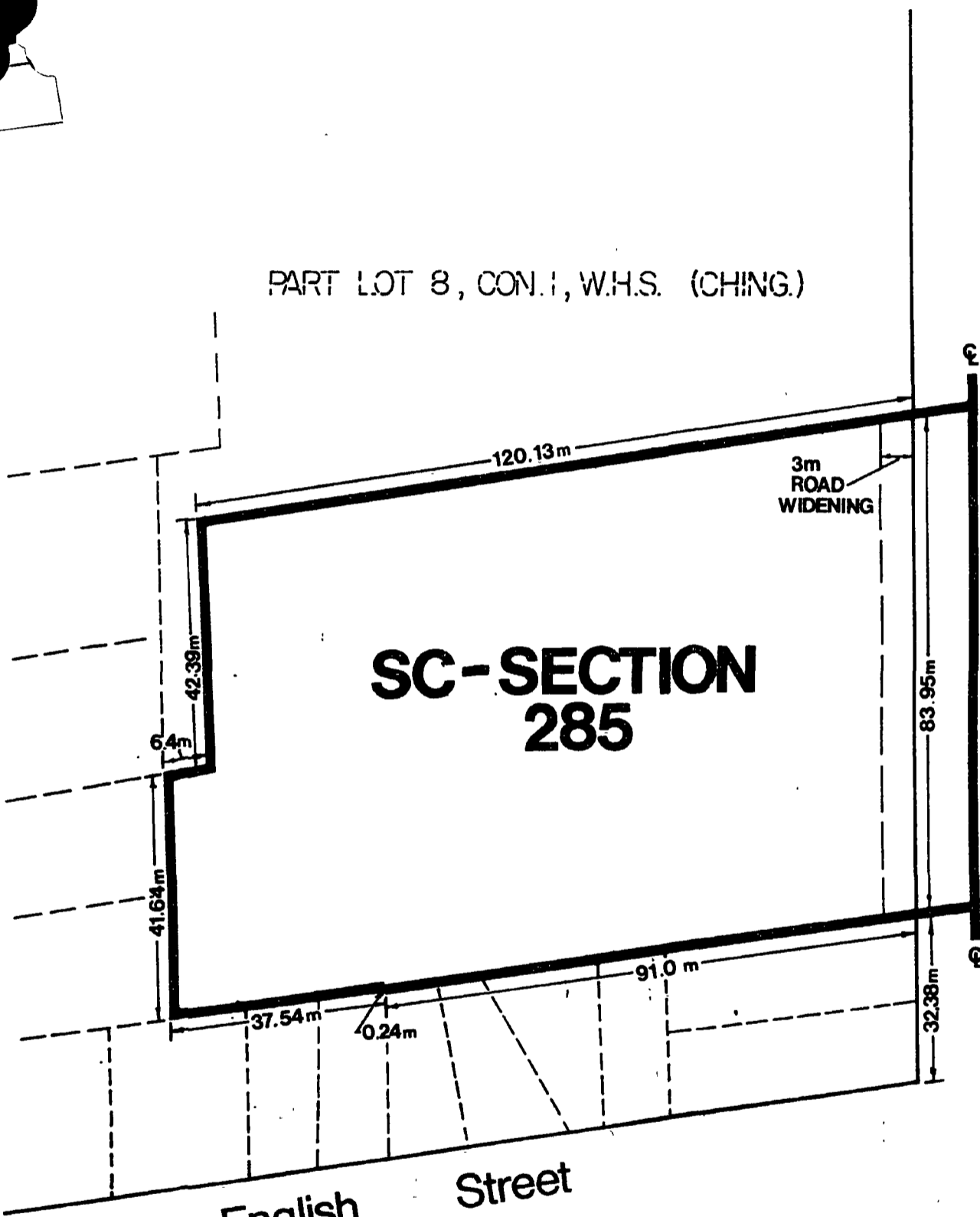

LEONARD J. MIKULICH - CLERK

APPROVED
AS TO FORM
LAW DEPT.
BRAMPTON

DATE

44-87/8

PART LOT 8, CON. I, W.H.S. (CHING.)

SC-SECTION 285



Highway No. 0 (Main Street North)

English Street

— Zone Boundary

PART LOT 8, CON. I, W.H.S. (CHING.)
BY-LAW 200-82 SCHEDULE A

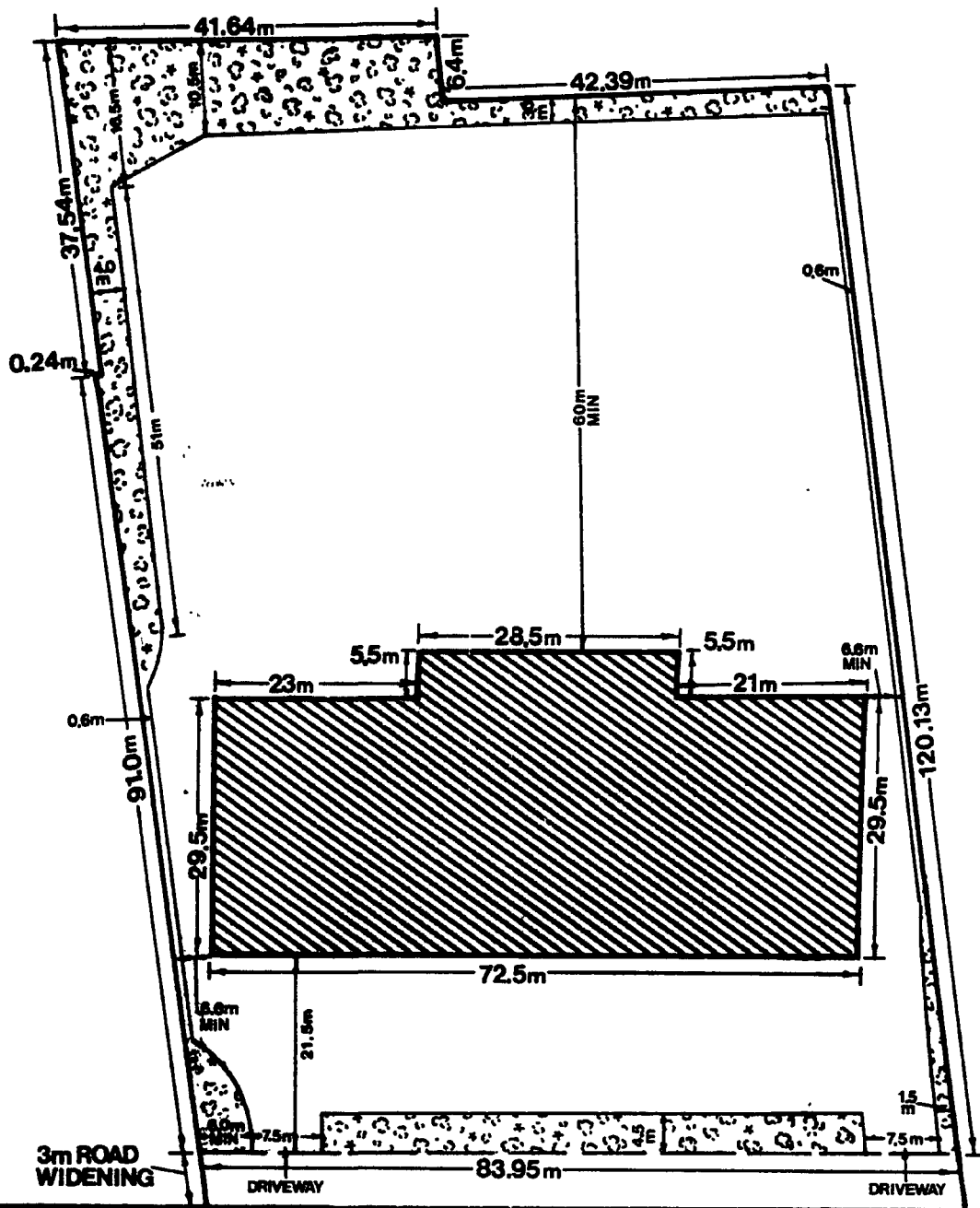


CITY OF BRAMPTON
Planning and Development

By-law _____ Schedule A

1:960

Date: 87 07 15 Drawn by: K.L.
File no. CIW8.16 Map no. 42-94E



Highway No. 10 (Main Street North)

LEGEND



BUILDING AREA



MIN. MINIMUM



LANDSCAPED OPEN SPACE



m METRE

**SCHEDULE C-SECTION 285
BY-LAW 200-82**



CITY OF BRAMPTON
Planning and Development

By-law _____ Schedule B

1:770

Date: 87 07 08 Drawn by: K.L.
File no. CIW8.16 Map no. 42-94D

IN THE MATTER OF the Planning Act,
1983, section 34;

AND IN THE MATTER OF the City of
Brampton By-law 192-87.

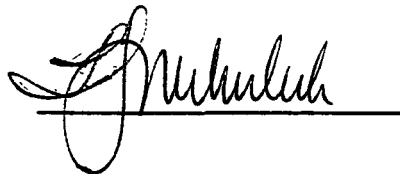
DECLARATION

I, LEONARD J. MIKULICH, of the City of Brampton, in the
Region of Peel, DO SOLEMNLY DECLARE THAT:

1. I am the Clerk of The Corporation of the
City of Brampton and as such have knowledge
of the matters herein declared.
2. By-law 192-87 was passed by the Council of
the Corporation of the City of Brampton at
its meeting held on August 17th, 1987.
3. Written notice of By-law 192-87 as required
by section 34 (17) of the Planning Act, 1983
was given on August 27th, 1987 in the manner
and in the form and to the persons and
agencies prescribed by the Planning Act,
1983.
4. No notice of appeal under section 34(18) of
the Planning Act, 1983 has been filed with
me to the date of this declaration.

DECLARED before me at the City of)
Brampton in the Region of Peel)
this 22nd day of September, 1987.)

A commissioner, etc.



ROBERT D. TUFTS, a Commissioner,
etc., Judicial District of Peel, for The
Corporation of the City of Brampton.
Expires May 25th, 1988.