

**NOTICE OF INTENT TO PASS A ZONING BY-LAW
TO REMOVE A HOLDING SYMBOL IN ACCORDANCE WITH THE
REQUIREMENTS OF THE PLANNING ACT**

The City of Brampton has received a request by **The Regional Municipality of Peel, File: OZS-2026-0003** with a proposal to amend the Zoning By-law for the removal of a “Holding (H)” symbol from lands are zoned ‘Residential Apartment A (Holding) – Section 3756 (R4A(H)-3765)’, to facilitate development for residential and non-market housing uses.

In accordance with the requirements of the Planning Act, the purpose of this notice is to advise of the City of Brampton’s intent to pass a Zoning By-law Amendment to remove the “H” Symbol from the property’s zoning designation.

Location:

The subject property is located north of Queen Street West, east of Creditview Road, and west of Douglas Road. The subject property is located in Ward 5 and is municipally known as 1358 Queen Street West.

Proposal:

The subject property is zoned ‘Residential Apartment A (H) – Section 3756 (R4A(H)-3765)’. The Holding (“H”) provision requires that the City’s Commissioner of Planning, Building and Growth Management be satisfied that satisfactory access arrangements have been made with respect to the planned redevelopment of the adjacent lands immediately to the east and west of the subject property.

The applicant is proposing to remove the Holding (“H”) symbol to facilitate the development of the subject lands for residential and non-market housing uses.

Recommendation:

Staff supports the removal of the Holding (“H”) symbol, as the City’s Commissioner of Planning, Building and Growth Management is satisfied that appropriate access arrangements have been secured with respect to the planned redevelopment of the adjacent lands to the east and west of the subject property. Satisfactory access arrangements have been identified through the related Site Plan application, under application SPA-2025-0104.

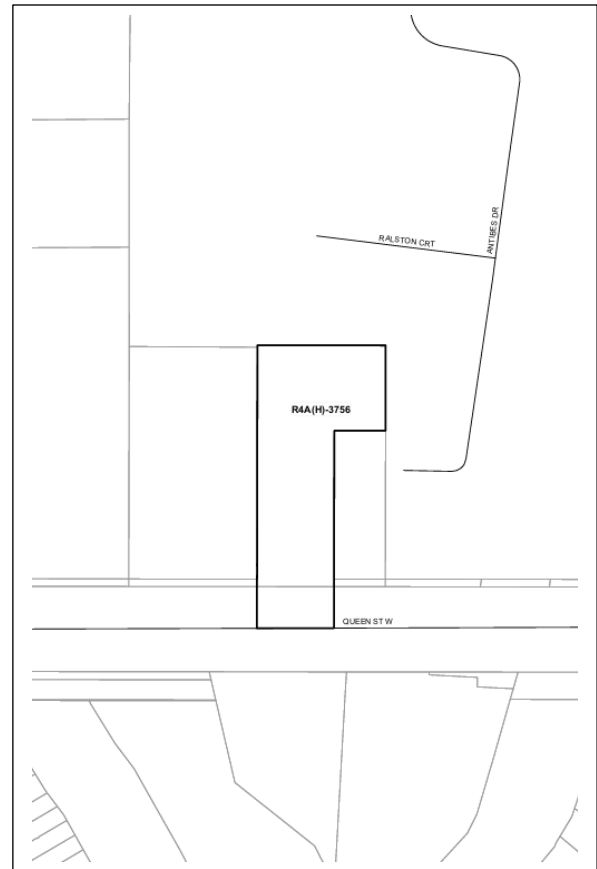
NOTE: Through the City of Brampton's delegated process, the By-law to remove the holding symbol will be approved by the Commissioner, Planning Building and Growth Management (or delegate).

If you have comments on this application, please submit correspondence (including letters, videos) related to this application to the staff person noted below.

Correspondence regarding this application will be accepted until May 7, 2026.

In accordance with Section 36 of the Planning Act, no public meeting is required. Decisions related to this application are only appealable by the applicant.

FOR MORE INFORMATION: Please contact Alexia DeCaria, Development Planner at Alexia.DeCaria@Brampton.ca and/or send comments to the Development and Design Division, 3rd Floor, 2 Wellington Street West,



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