

**Notice of Passing of By-law 148-2024 to amend the Development
Permit System (DPS) By-law, 230-2012**

85 Sproule Drive

Date of Decision: September 25, 2024

Date of Notice: October 4, 2024

Last Date of Appeal: October 24, 2024 (no later than 4:30 p.m.)

On the date noted above, the Council of the Corporation of the City of Brampton passed By-law 148-2024, to amend the Development Permit System By-law 230-2012, as amended, under Section 70.2 of the *Planning Act*, R.S.O., c.P.13, pursuant to an application by Blackthorn Development Corp., on behalf of Main Street Developments Inc., Ward 1 (File: OZS-2024-0038).

The Purpose and Effect of the Development Permit System By-law Amendment: to amend the Main Street North Development Permit System (DPS) By-law to facilitate the development of a 5-storey mixed use building with 24 residential units and commercial uses on the ground floor.

Location of Lands Affected: southeast corner of the intersection of Main Street and Sproule Drive, legally described as PCL Plan-2 Sec 43M527, Block 9 Plan 43M527, and municipally known as 85 Sproule Drive.

Obtaining Additional Information: A copy of the by-law is provided. The complete background information is available at the City Clerk's Office during regular office hours, or online at www.brampton.ca. Further enquiries should be directed to Megan Fernandes, Planner, Planning, Building and Growth Management Services Department at 905-874-3882 or megan.fernandes@brampton.ca.

Any and all written submissions relating to this amendment that were made to Council, and the Planning and Development Committee, before its decision and any and all oral submissions related to these applications that were made at a public meeting, held under the *Planning Act*, have been, on balance, taken into consideration by Council as part of its deliberations and final decision on these matters.

There are no other applications under the *Planning Act*, pertaining to the subject lands.

When and How to File an Appeal: An appeal to the Ontario Land Tribunal (OLT) may be made by filing a notice of appeal with the City Clerk:

- either via the **Ontario Land Tribunal e-file service** (first-time users will need to register for a My Ontario Account) at <https://olt.gov.on.ca/e-file-service/> by selecting Brampton (City) – Clerk as the Approval Authority
- or by mail or hand delivered to City of Brampton, City Clerk’s Office, 2 Wellington Street West, Brampton, ON L6Y 4R2, **no later than 4:30 p.m. on October 24, 2024**. Appeal forms are available from the OLT website at www.olt.gov.on.ca.
- If the e-file portal is down, you can submit your appeal to the City at the above address

The filing of an **appeal after 4:30 p.m.**, in person or electronically, will be deemed to have been received the next business day. The City Clerk agrees to receive appeals via the OLT e-file service.

Take Notice that the Appeal:

- (1) must set out the reasons for appeal;
- (2) pay fee of \$1,100 online through e-file service, or by certified cheque/money order to the Minister of Finance, Province of Ontario if being mailed or hand delivered to the City. A copy of the fee Schedule may be found at <https://olt.gov.on.ca/appeals-process/fee-chart/>. Forms for a request of fee reduction for an appeal, are available from the OLT website at www.olt.gov.on.ca.

Only individuals, corporations and public bodies may appeal a by-law to the Ontario Land Tribunal (OLT). A notice of appeal may not be filed by an unincorporated association or group. However, a notice of appeal may be filed in the name of an individual who is a member of the association or the group on its behalf.

No person or public body shall be added as a party to the hearing of the appeal unless, before the by-law was passed, the person or public body made oral submissions at a public meeting or written submissions to the Council or, in the opinion of the Ontario Land Tribunal, there are reasonable grounds to add the person or public body as a party.

City of Brampton
Office of the City Clerk
2 Wellington Street West
Brampton, ON L6Y 4R2
Contact: (905) 874-2116



THE CORPORATION OF THE CITY OF BRAMPTON

BY-LAW

Number 148 - 2024

To amend the Main Street North Development Permit System (DPS) By-law, 230-2012, as amended

The Council of The Corporation of the City of Brampton, in accordance with the provisions of the Planning Act, R.S.O. 1990, c.P. 13, as amended, hereby enacts as follows within Schedule 7 – Minor Amendment to the DPS.

The bylaw is intended to amend Part 4.0 Regulations of the Main Street North Development Permit System By-law, as amended:

1. Add new sub-section 4.3.8 Site Specific Zones:

“The following areas and sites are zoned with site specific provisions and apply to the lands identified on Schedule 7 of Part 4.0. Minor amendments are subject to the approval of Council to facilitate development that meets the general intent and purpose of the Brampton Plan (Official Plan) and the Main Street North Development Permit System, while complementing the neighbourhood context and is deemed to be an appropriate scale and intensity for the development of the lands. Minor amendments supported in this sub-section are exempt from specific provisions of the DPS by-law as specifically noted in the Site Specific Zone.”

2. Add new sub-section 4.3.8.1 85 Sproule Drive:

“The lands municipally known as 85 Sproule located at the south-east corner of Main Street North and Sproule Drive is zoned as site-specific CMU3-DPS-0001:

1. The subject property is zoned CMU3-DPS-0001, and subject to the zoning provisions of CMU3. Notwithstanding the general provisions of CMU3, Section 4.3.3E, 4.3.3.T.4 and Schedule 6-1B, the following performance standards are permitted with respect to the development of up to a 5-Storey Mixed Use Building:

4.3.8.1.1 A maximum height of 18.2 metres.

4.3.8.1.2 Exemption of angular planes for street frontages of Sproule, Main, and the Rear Property Line.

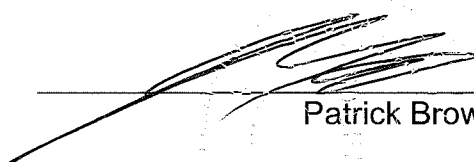
4.3.8.1.3 Exemption from the mechanical penthouse, angular plane and setback requirements as set out in Schedule 6-1B.

3. Add new schedule titled, “Schedule 7 Site Specific Zones” as part of Part 4.0:
Development Regulations.

4. Add new site-specific zone "CMU3-DPS-0001" to Schedule 7 Site Specific Zones as shown on Schedule A of this amendment".

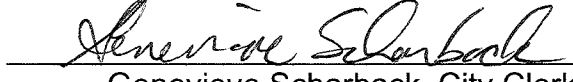
ENACTED and PASSED this 25th day of September, 2024.

Approved as to
form.
2024/09/19
MR



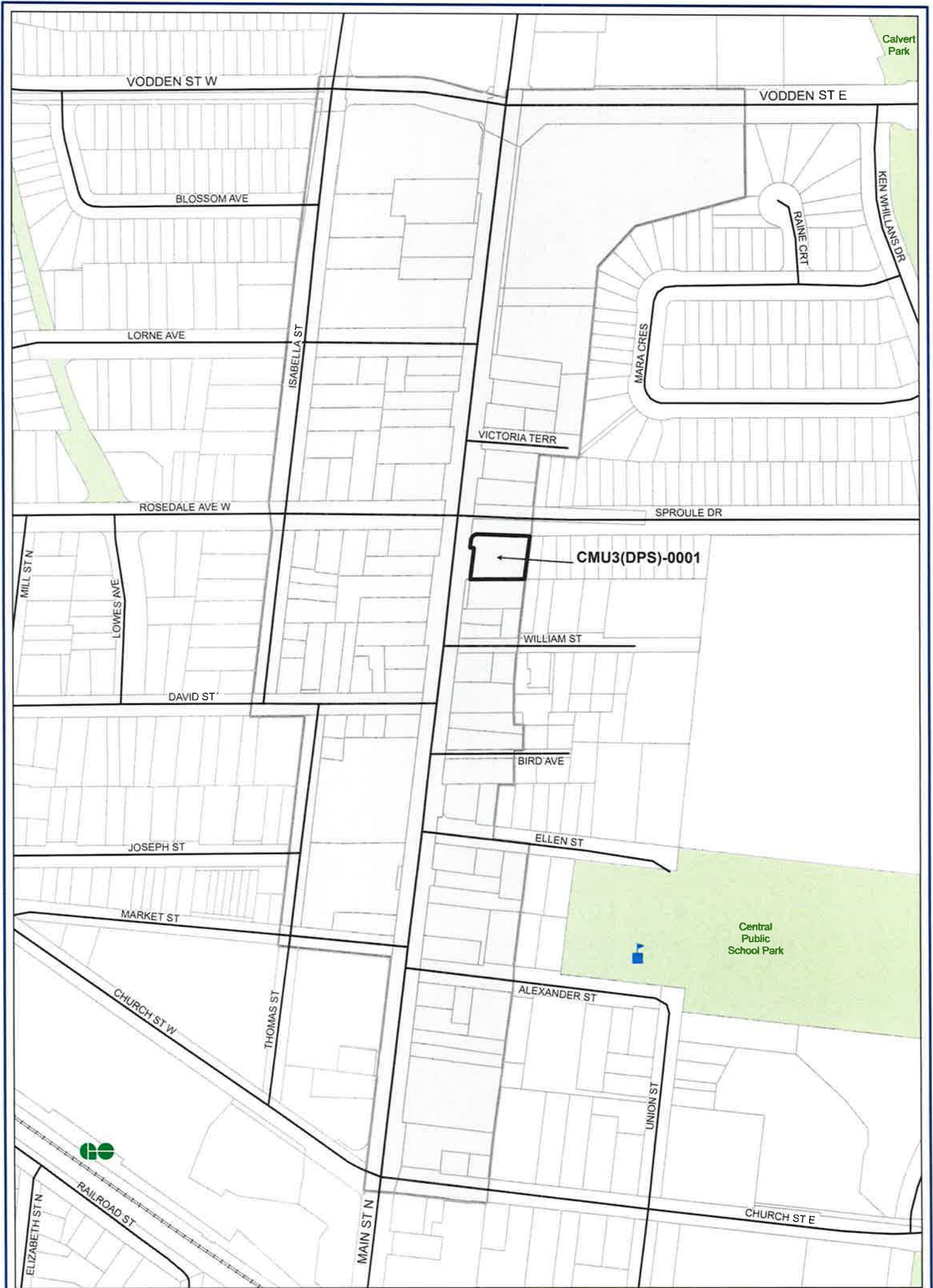
Patrick Brown, Mayor

Approved as to
content.
2024/09/17
Allan A. Parsons



Genevieve Scharback, City Clerk

(OZS-2024-0038)



CMU3(DPS)-0001

BRAMPTON
Flower City
brampton.ca
PLANNING, BUILDING AND GROWTH MANAGEMENT

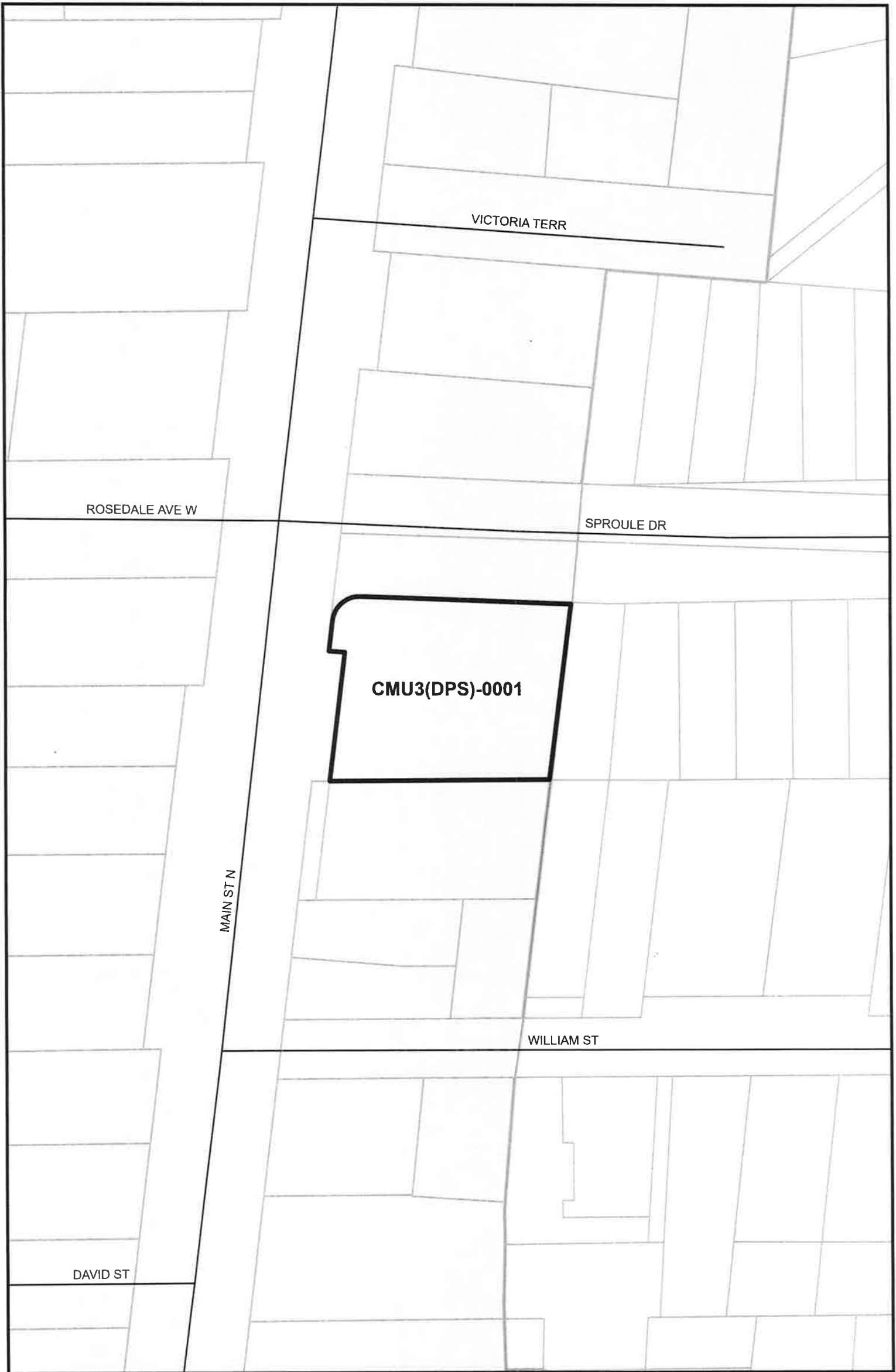
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Date: 2024/09/09

Development Permit System Schedule 7: Site Specific Zones

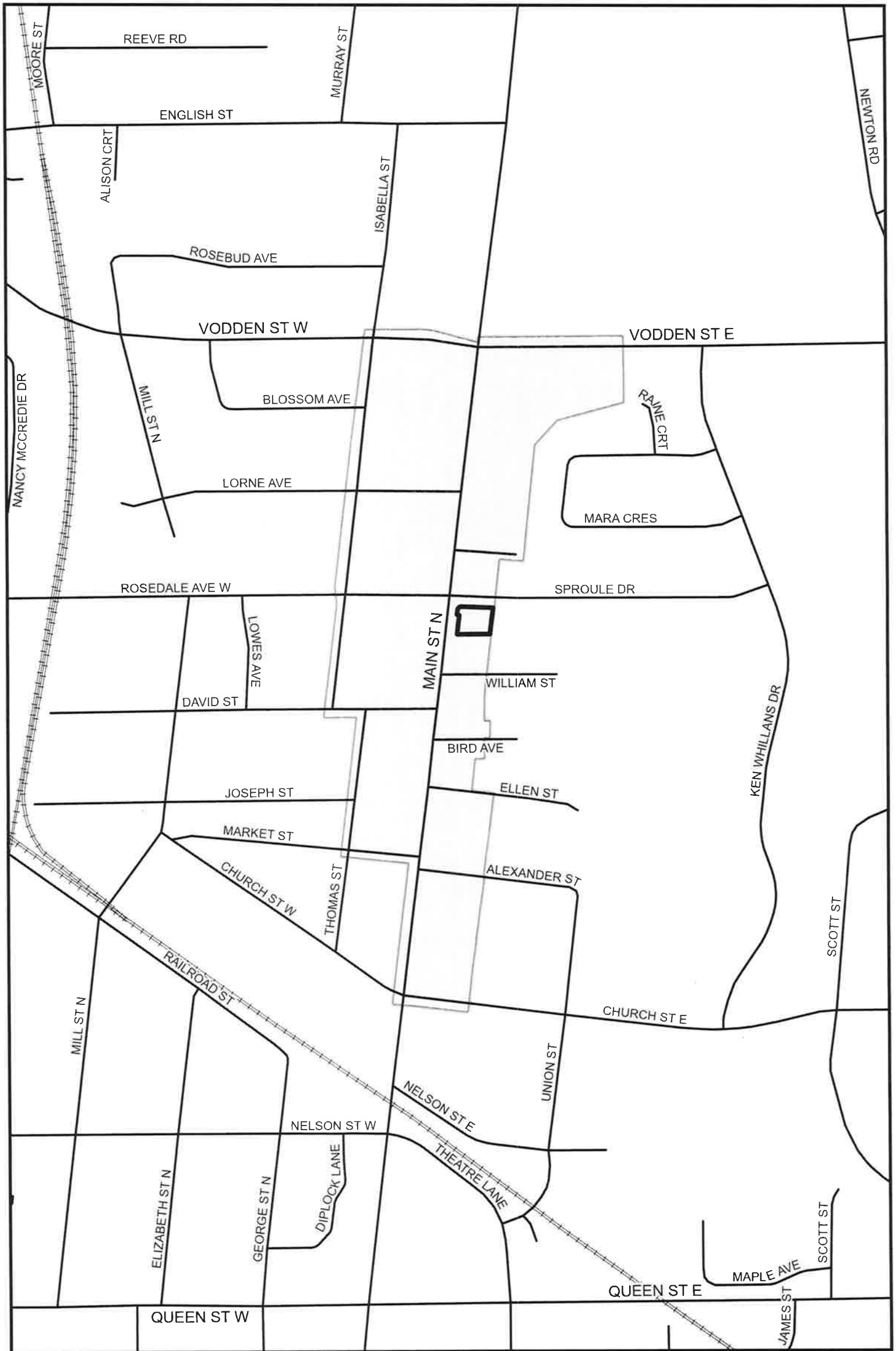
- DPS Site Specific Zone
- Development Permit System
- Parcel Fabric
- Park
- School
- GO Station
- Major Street
- Minor Street
- Railway

By-law 148-2024



Subject Lands
 Development Permit System
 Parcel Fabric
 Street





Subject Lands
 Development Permit System
 RAILWAYS

